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APPENDIX A

PLAN SUBMITTAL CHECKLIST

Plans and Other Supporting Documentation:
(To be completed by the West Providence Township Planning Commission)

- _____ Appropriate no. of Plan Prints, _____ Copies
- _____ Fees Required, _____ Fees Collected
- _____ Road Profiles and Cross Sections
- _____ Stormwater Management Plan and Report
- _____ Soil Erosion and Sedimentation Plan
- _____ Water Supply Data
- _____ DEP "Planning Module", _____ Copies
- _____ Improvement Surety
- _____ Bedford County Planning Commission Review
- _____ Bedford County Conservation District Review
- _____ Township Engineer's Review
- _____ Other (Specify) _____

Notes: _____

Plan Recommendation by the West Providence Township Planning Commission:
_____ Approval _____ Conditional Approval _____ Disapproval

Plan Approved By:
West Providence Township Board of Supervisors, Date _____

Total Fees Collected \$ _____ Date _____

By: _____ Title _____

Plan Recorded _____ Date _____

SUBDIVISION AND LAND DEVELOPMENT REVIEW APPLICATION FORM

West Providence Township

83 East Fifth Avenue
Everett, PA 15537
Phone: (814) 652-5943
Fax: (814) 652-5711
www.westprovidencetownship.org

This Application must be completed in its entirety by the Applicant and received by the West Providence Township Office fourteen (14) days prior to the West Providence Township Planning Commission meeting, along with plans, supporting documentation, and fees as required by the Subdivision and Land Development Ordinance, as amended.

Contact the Township Office for scheduled meeting times and dates.

TO BE COMPLETED BY TOWNSHIP	
Application Date:	
Date Submitted to BCPC:	
Administratively Complete Date:	
Official Filing Date:	
Application Fee:	
Deposit Fee for Reviews:	
Project Tracking Number:	

SECTION TO BE COMPLETED BY APPLICANT

Development or Subdivision Plan Information:

Name of Development or Subdivision Plan: _____ Applicant's Submission Date: _____

Location of Development or Address: _____
Street Address City State Zip Code

Type of Plan Submission: <small>(Check only one. Must coincide with plans.)</small> <input type="checkbox"/> Sketch Plan (optional) <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Preliminary/Final Plan <input type="checkbox"/> Final Plan	Plan Classification: <small>(Check all that apply.)</small> <input type="checkbox"/> Subdivision Plan Number of Lots, including parent tract(s): _____ <input type="checkbox"/> Land Development Plan <input type="checkbox"/> Waiver Request (List on page 2)	Tax Parcel Number(s): <small>(Use format xx-x-xxx)</small> _____ _____ _____
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Landowner Information:

Name or Company: _____ Contact Person: _____

Landowner Address: _____
Street Address City State Zip Code

Landowner Phone: _____ Email: _____
(Day Time) (Mobile) (Fax)

Applicant Information:

(Check all that apply) Landowner Equitable Owner Developer Subdivider Other: _____

Name or Company: _____ Contact Person: _____

Applicant Address: _____
Street Address City State Zip Code

Applicant Phone: _____ Email: _____
(Day Time) (Mobile) (Fax)

Consultant Information:

(Check all that apply) Surveyor Engineer Architect Other: _____

Company Name: _____ Contact Person: _____

Company Address: _____
Street Address City State Zip Code

Company Phone: _____ Email: _____
(Day Time) (Mobile) (Fax)

WEST PROVIDENCE TOWNSHIP FEE SCHEDULE FOR SUBDIVISION AND LAND DEVELOPMENT PLAN REVIEW
 APPROVED 03-13-2023

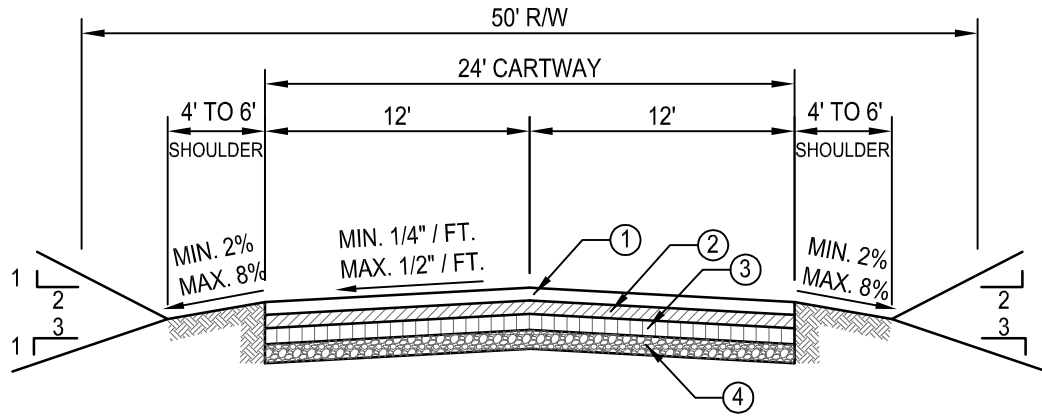
	<u>Application/Filing Fee*</u>	<u>Deposit for Consultant/Legal Review Fees*</u>
<u>Pre-Application Meeting:</u>	No Charge	N/A
<u>Sketch Plans:</u>	\$50.00	\$250.00
<u>Preliminary Plan Subdivision Reviews:</u>		
Ten (10) Residential Lots or less:	\$30.00, plus \$10.00 for each lot	\$200.00, plus \$50.00 for each lot
More than ten (10) Residential Lots:	\$130.00, plus \$10.00 for each lot, \$900.00 max.	\$600.00, plus \$50.00 for each lot
Non-Residential Lots:	\$200.00, plus \$50.00 for each lot, \$1250.00 max.	\$600.00, plus \$100.00 for each lot
<u>Preliminary Plan Land Development Reviews:</u>		
Land Development		
Under 1 Acre of Earth Disturbance:	\$100.00, plus \$5.00 per 1,000 SF of disturbance**	\$350.00, plus \$25.00 per 1,000 SF of disturbance**
Land Development		
Over 1 Acre of Earth Disturbance	\$250.00, plus \$25.00 per acre of disturbance**, \$1250.00 max	\$1200.00, plus \$150.00 per acre of disturbance**
<u>Preliminary/Final Plan Reviews:</u>		
Lot Line Change	\$30.00	\$150.00
Ten (10) Residential Lots or less:	\$50.00, plus \$10.00 for each lot	\$200.00, plus \$50.00 for each lot
<u>Final Plan Subdivision Reviews:</u>		
Ten (10) Residential Lots or less:	\$20.00, plus \$5.00 for each lot	\$100.00, plus \$50.00 for each lot
More than ten (10) Residential Lots:	\$75.00, plus \$5.00 for each lot, \$900.00 max.	\$500.00, plus \$50.00 for each lot
Non-Residential/Mixed-use Lots:	\$150.00, plus \$25.00 for each lot, \$1250.00 max.	\$500.00, plus \$100.00 for each lot
<u>Final Plan Land Development Reviews:</u>		
Land Development		
Under 1 Acre of Earth Disturbance:	\$50.00, plus \$5.00 per 1000 SF of disturbance**	\$200.00, plus \$25.00 per 1,000 SF of disturbance**
Non-Residential/Mixed-use		
Land Development		
Over 1 Acre of Earth Disturbance	\$250.00, plus \$25.00 per acre of disturbance**, \$850.00 max.	\$1200.00, plus \$150.00 per acre of disturbance**
<u>Request for Modification/Waiver of Requirements:</u>		
Design Modifications:	\$25.00 per Modification	\$150.00
Drafting Modifications:	\$5.00 per Modification, max of \$25.00	

*Application/Filing Fee and Deposit for Consultant/Legal Review Fees shall be added together and submitted as one (1) Plan Fee in accordance with West Providence Township Subdivision and Land Development Ordinance, Article XI. All fees shall be payable at the time of the Preliminary or Final Plan Submission. Any engineering, legal and administrative costs in excess of the amount submitted prior to approval of the Plan, shall be paid by the Developer upon Township notification. No Final Plan shall be approved until all fees and charges are paid in full.

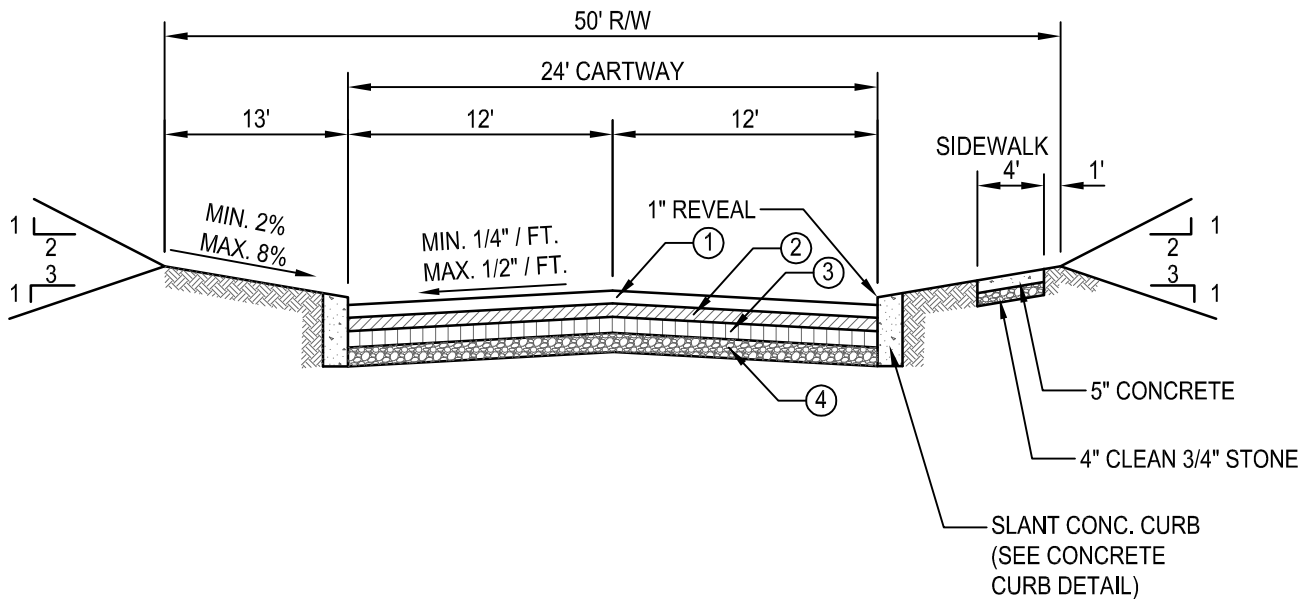
** For the purpose of this fee schedule, the area of disturbance is defined as a construction or other human activity which disturbs the surface of the land, including, but not limited to, clearing and grubbing, grading, excavations, embankments, road, driveway or parking lot maintenance, building construction and the moving, depositing, stockpiling, or storing of soil, rock or earth materials.

*** Fees established based on per 1000 Square Feet or per Acre shall be rounded up to the next 1,000 SF increment or the next Acre.

APPENDIX B



TYPICAL MINOR STREET WITH NO CURB



TYPICAL MINOR STREET WITH CURB AND SIDEWALK

NOTES:

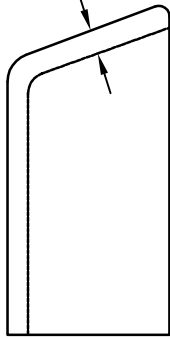
- COLLECTOR STREETS REQUIRE A MINIMUM 60' R.O.W. AND 36' CARTWAY WIDTH
- ARTERIAL STREETS REQUIRE A MINIMUM 80' R.O.W. AND VARIABLE CARTWAY WIDTH AS DETERMINED BY THE TOWNSHIP BASED ON LOCAL CONDITIONS
- BASED ON SITE CONDITIONS, THE TOWNSHIP MAY REQUIRE INSTALLATION OF A SUBDRAINAGE SYSTEM.

- ① 1.5" COMPACTED 9.5mm SUPERPAVE HMA, SRL-M* WEARING COURSE
- ② 2.5" COMPACTED 19mm SUPERPAVE HMA, SRL-M* BINDER COURSE
- ③ 4.0" COMPACTED 25mm SUPERPAVE HMA, SRL-M* BASE COURSE
- ④ BASE COURSE 6" COMPACTED DEPTH 2A STONE

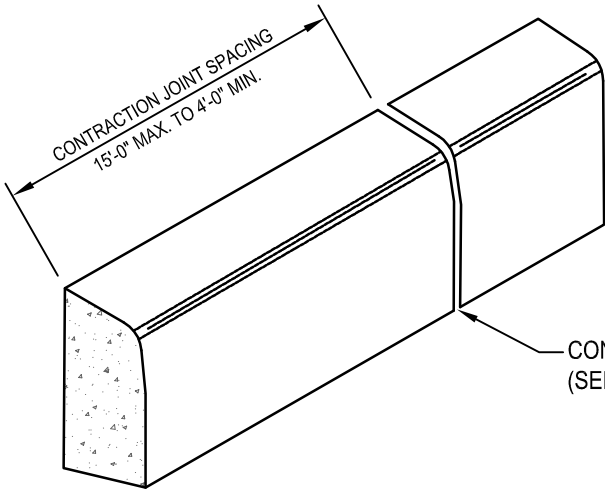
* PROPOSED COLLECTOR AND ARTERIAL ROADS WITH HIGHER TRAFFIC VOLUMES WILL REQUIRE A HIGHER RATED SKID RESISTANCE LEVEL (SRL) PER PENNDOT CRITERIA.

TYPICAL MINOR STREET SECTION

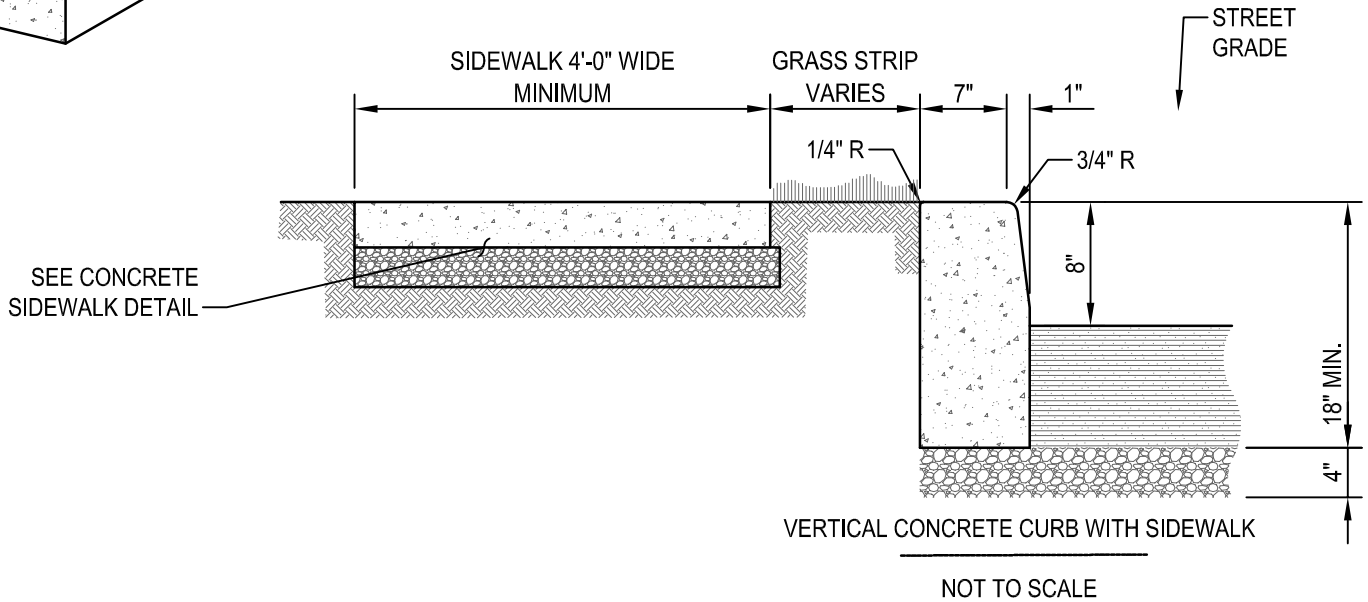
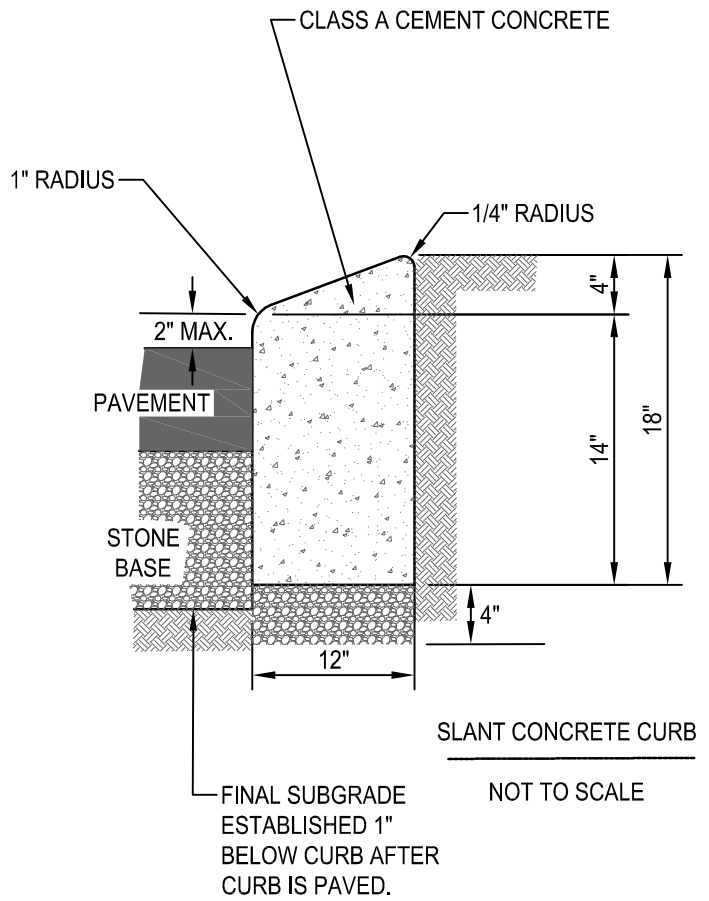
2" DEEP, 3/16" WIDE CAULK
WITH POLYURETHANE
CONCRETE CAULK



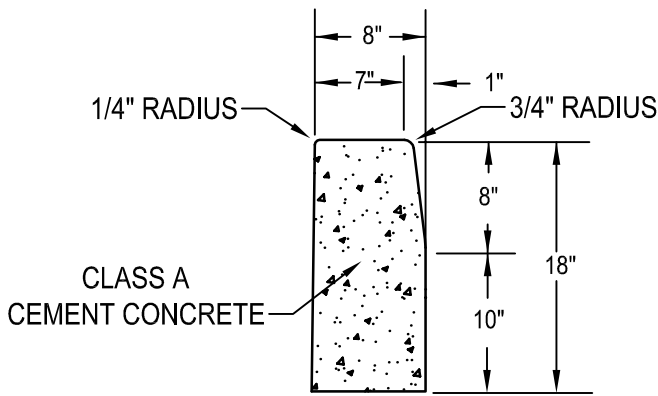
DETAIL "A"
CONTRACTION JOINT



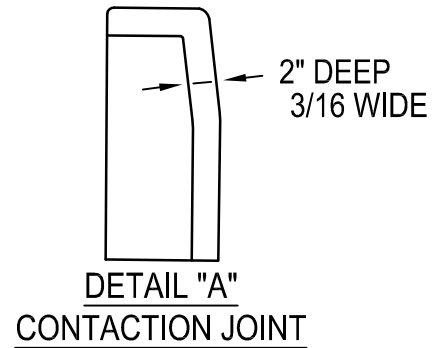
CONTRACTION JOINT
(SEE DETAIL "A" THIS SHEET)



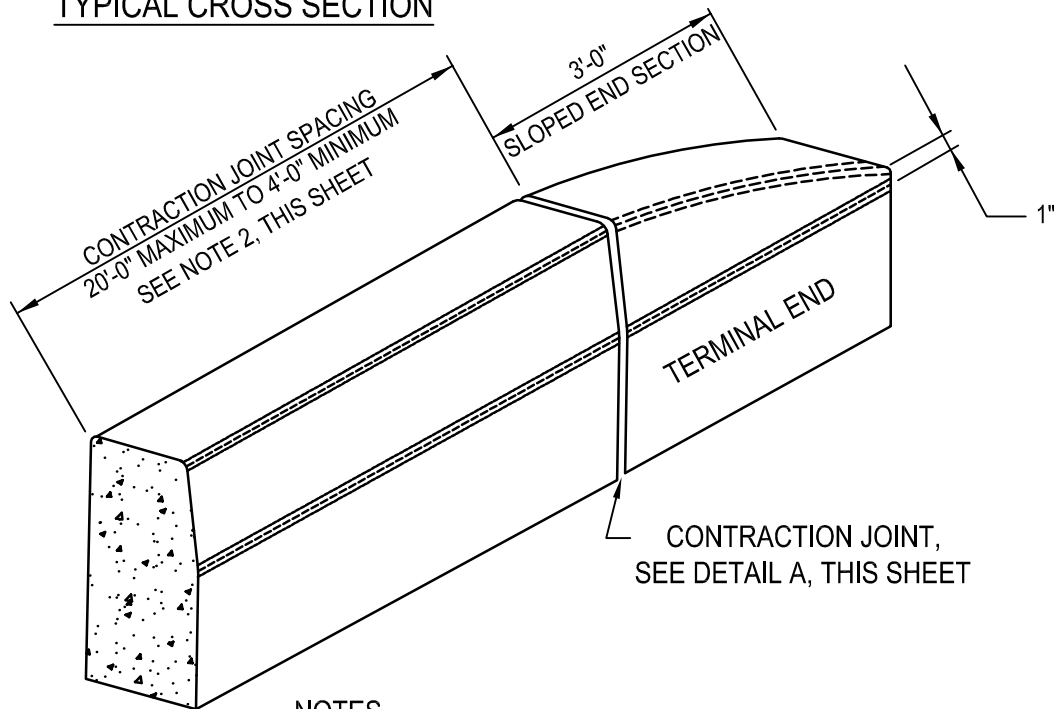
PLAIN CEMENT CONCRETE CURB



TYPICAL CROSS SECTION



DETAIL "A"
CONTRACTION JOINT



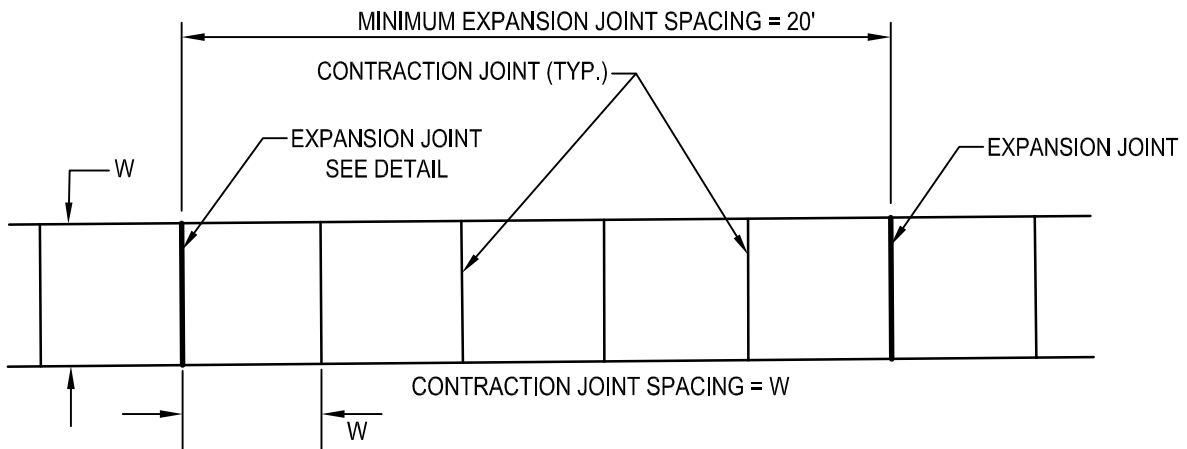
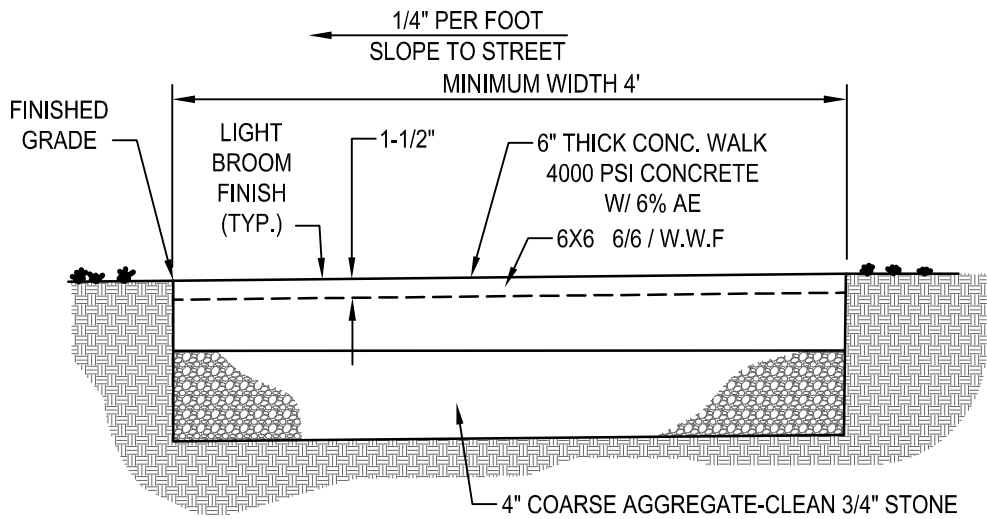
NOTES

1. MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PUBLICATION 408, SECTION 630 FOR PLAIN CEMENT CONCRETE CURB.
2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS. SEE DRAWING NO. 2.
3. PLACE 3/4-INCH PREMOLDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO CROSS SECTIONAL AREA OF CURB.

TERMINAL END SECTION

NOT TO SCALE

PLAIN CEMENT CONCRETE CURB TRANSITION

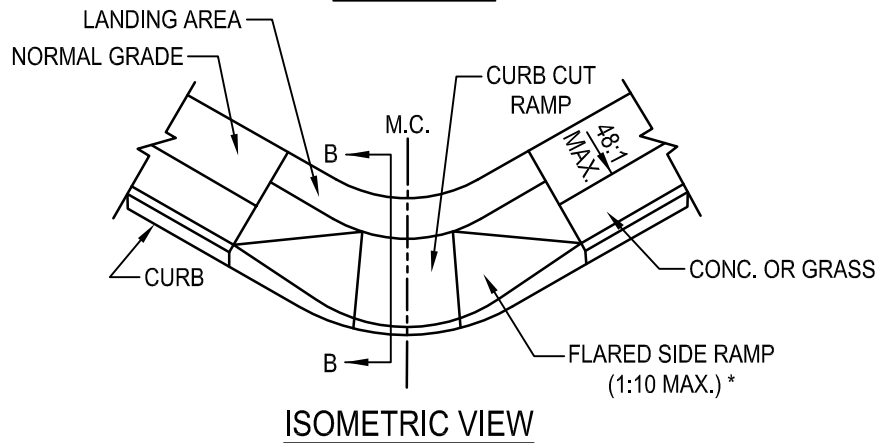
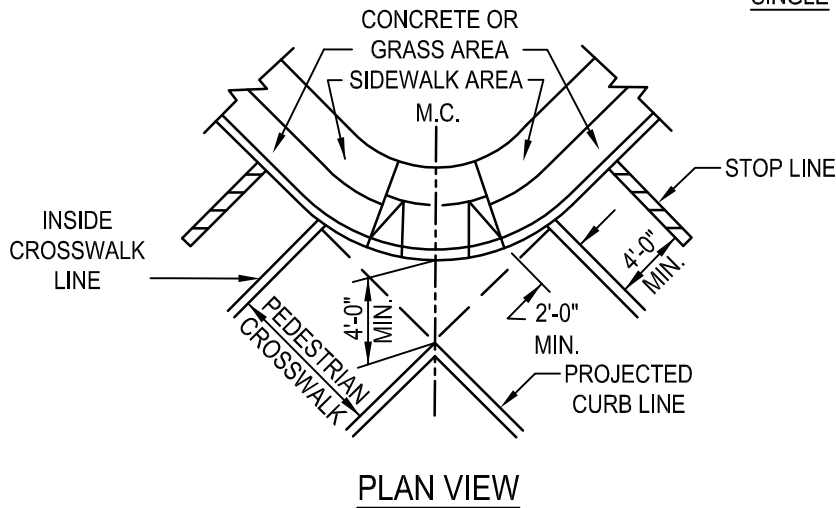
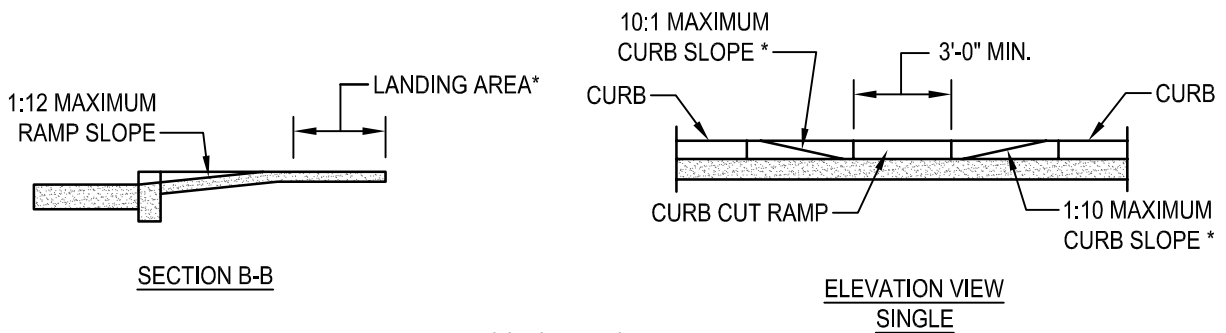


NOTES:

1. JOINT SPACING TO MATCH SIDEWALK (W)
2. SIDEWALK WIDTH (W) TO BE DESIGNATED ON DRAWINGS. (MIN. 4')
3. INSTALL EXPANSION MATERIAL AROUND ALL STRUCTURES EXISTING AND PROPOSED AND AS DIRECTED BY THE TOWNSHIP
4. UTILIZE THE ABOVE JOINT PATTERN UNLESS OTHERWISE DETAILED ON THE DRAWINGS OR DIRECTED BY THE TOWNSHIP

CONCRETE SIDEWALK TYPICAL JOINT SPACING

CONCRETE WALK DETAIL

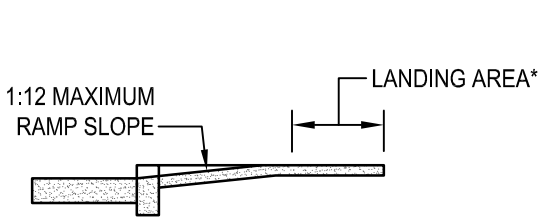


SINGLE CURB CUT RAMP
NO SCALE

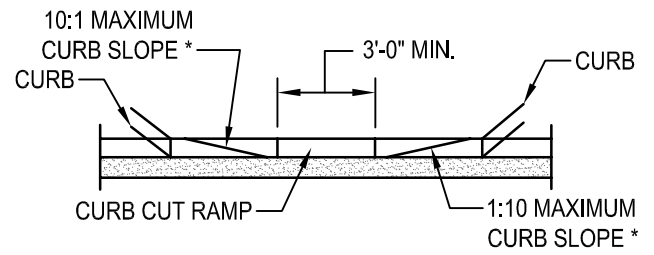
* IF LANDING AREA IS LESS THAN 48", THEN THE SLOPE OF THE FLARED SIDE SHALL NOT EXCEED 1:12

NOTE: TRANSITIONS FROM RAMPS TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. MAXIMUM SLOPES OF ADJOINING GUTTERS, ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB CUT RAMP SHALL NOT EXCEED 1:20.

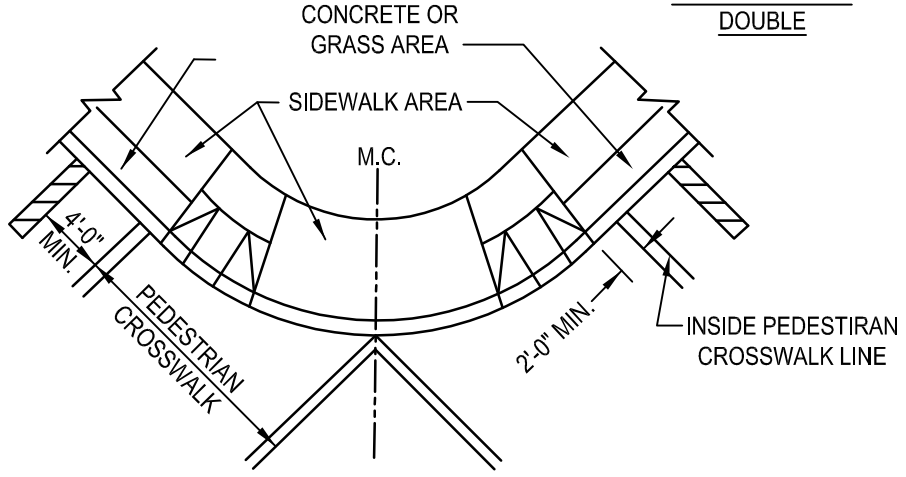
WHEELCHAIR RAMP AT CURB



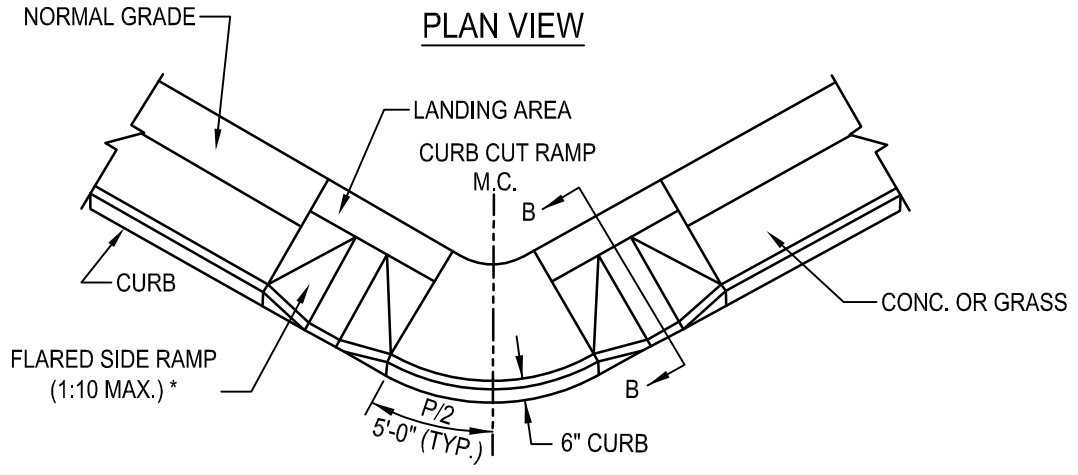
SECTION B-B



ELEVATION VIEW
DOUBLE



PLAN VIEW



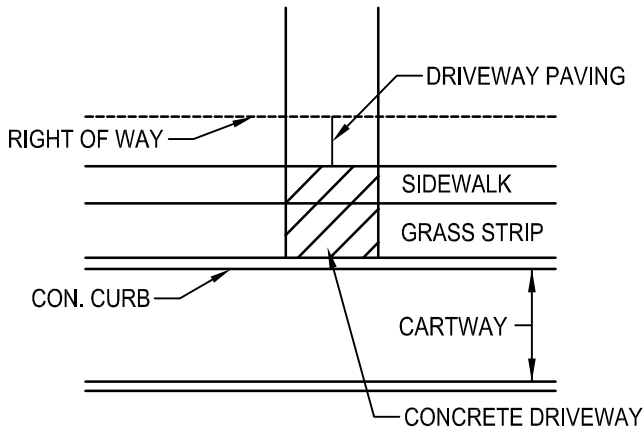
ISOMETRIC VIEW

DOUBLE CURB CUT RAMP
NO SCALE

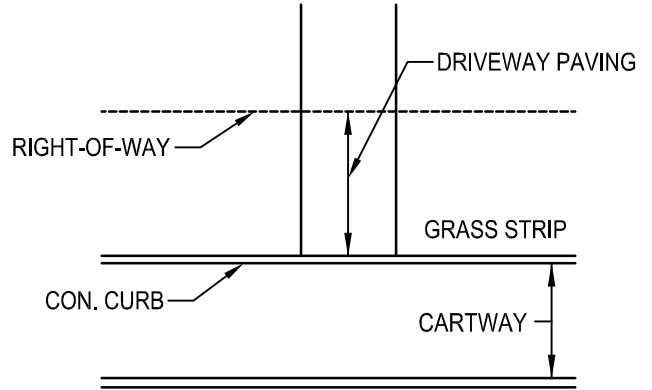
* IF LANDING AREA IS LESS THAN 48", THEN THE SLOPE OF THE FLARED SIDE SHALL NOT EXCEED 1:12

NOTE: TRANSITIONS FROM RAMPS TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. MAXIMUM SLOPES OF ADJOINING GUTTERS, ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB CUT RAMP SHALL NOT EXCEED 1:20.

WHEELCHAIR RAMP AT CURB

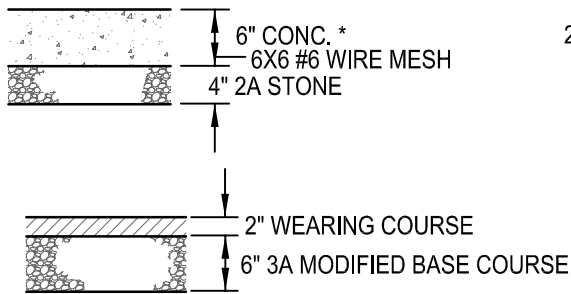


DRIVEWAY PAVING
WITH CONCRETE
SIDEWALK



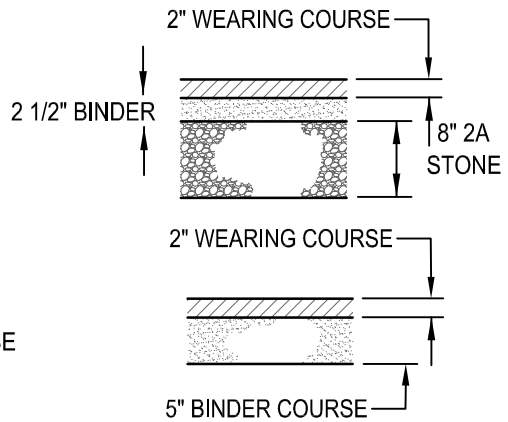
DRIVEWAY PAVING
NO SIDEWALK

PLAN



RESIDENTIAL

* 8" FOR COMMERCIAL

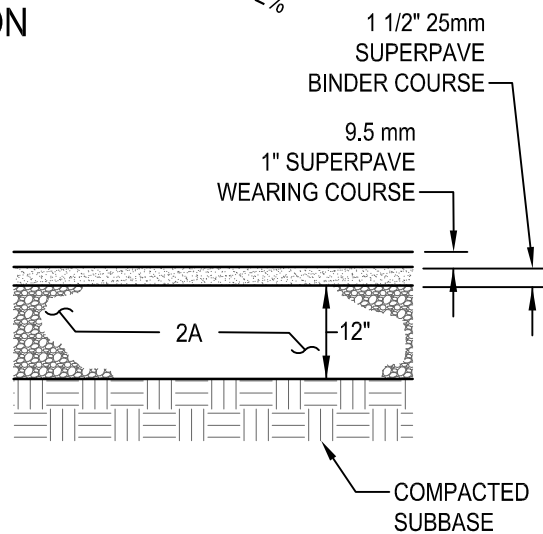
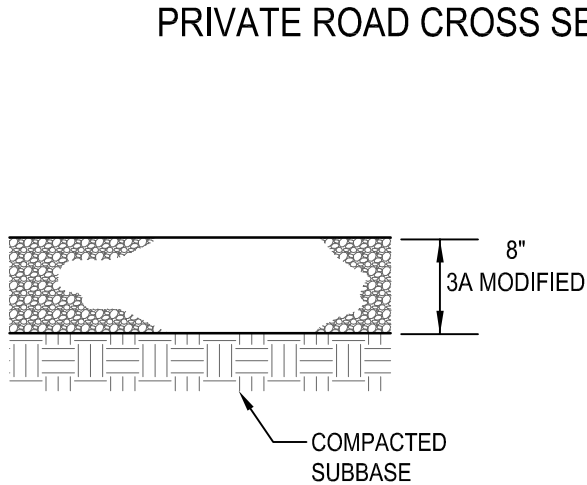
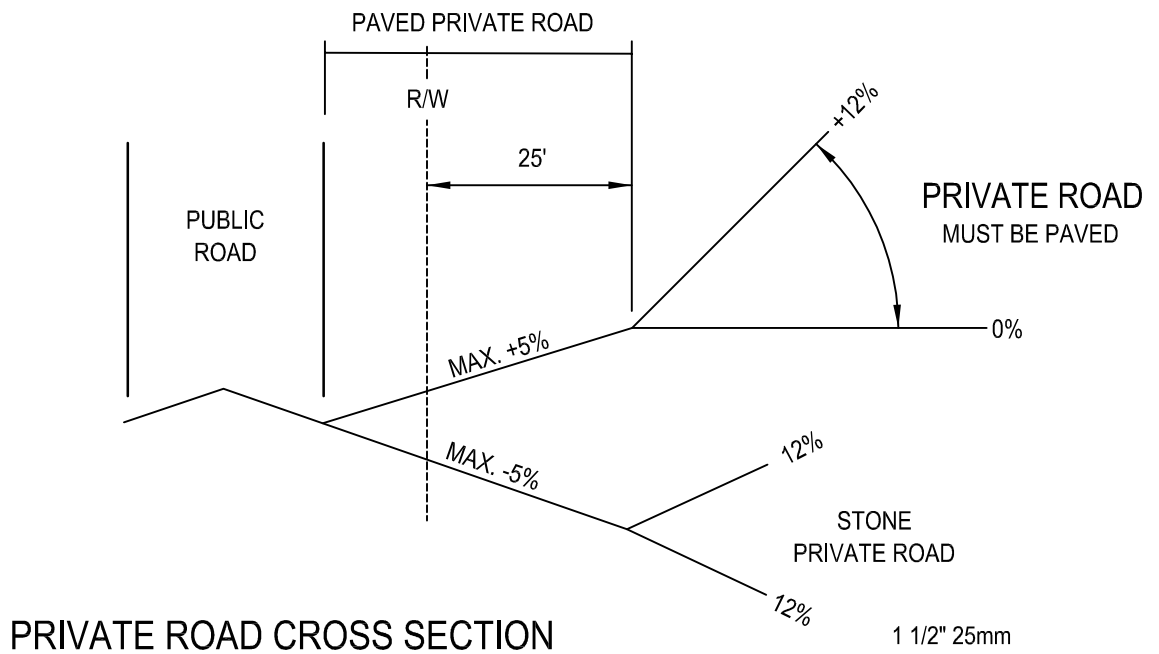


COMMERCIAL
DRIVEWAY PAVING

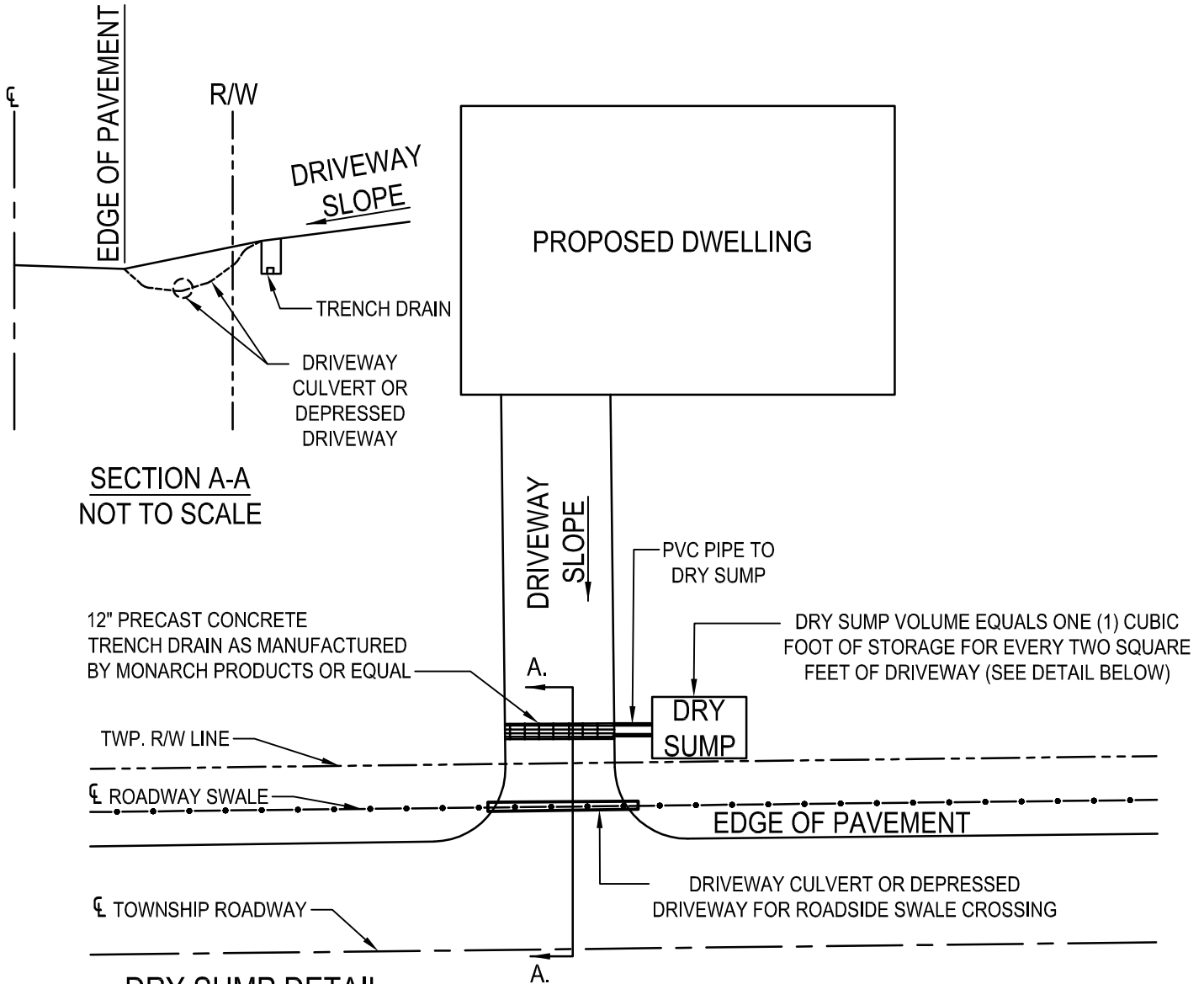
TYPICAL SECTION

NOTE: ALL DRIVEWAYS SHALL HAVE A BITUMINOUS OR CONCRETE SURFACE WITHIN ASPHALT PAVED STREET RIGHT-OF-WAY

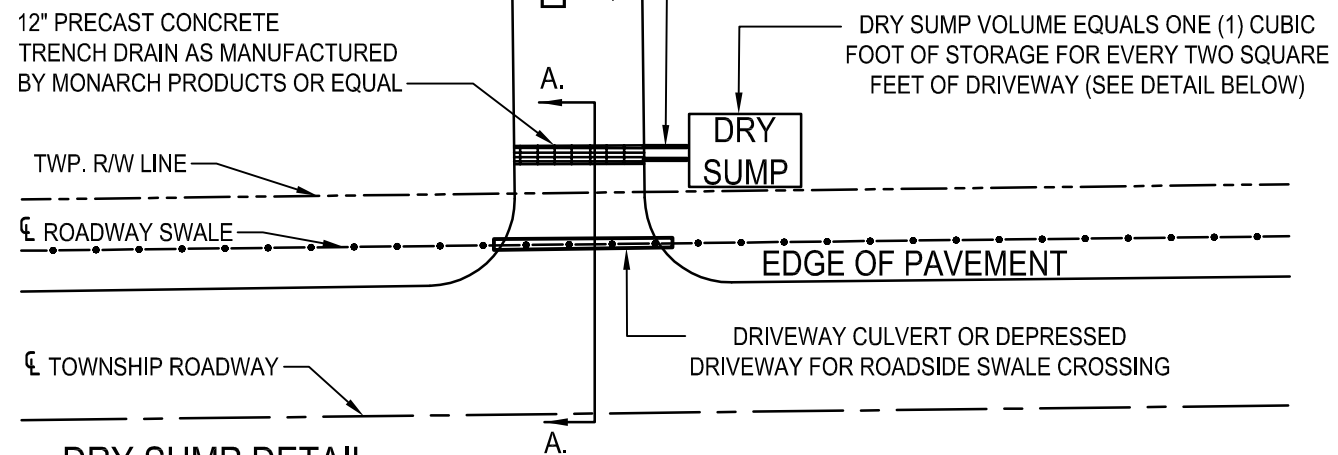
DRIVEWAY PAVING DETAILS



PRIVATE ROAD PAVING DETAILS

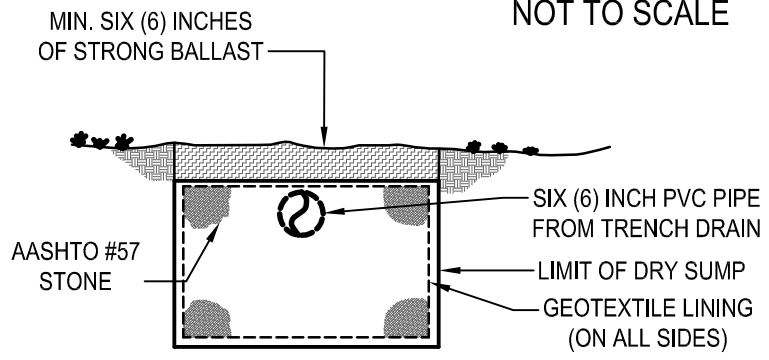


SECTION A-A
NOT TO SCALE



DRY SUMP DETAIL
NO SCALE

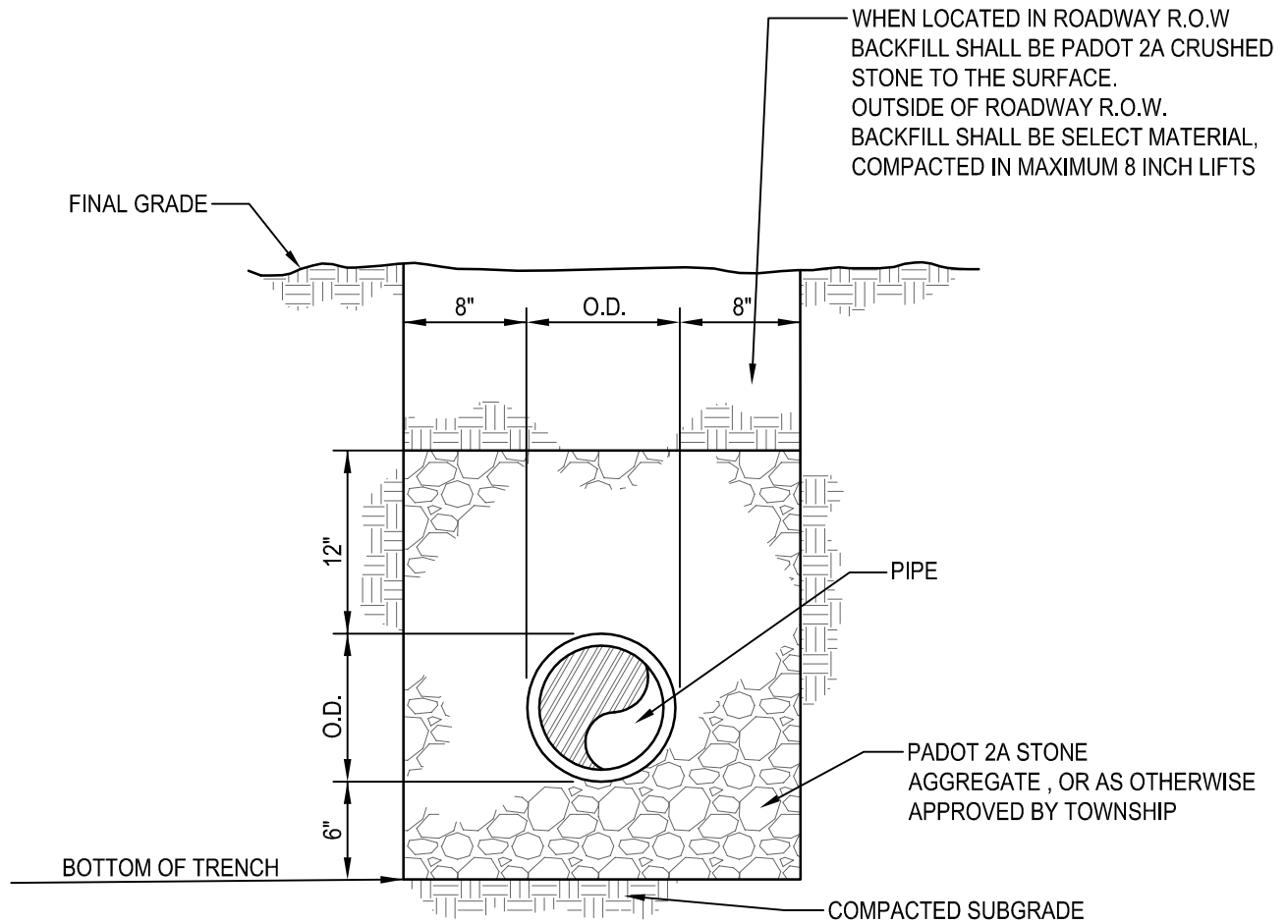
PLAN
NOT TO SCALE



NOTES:

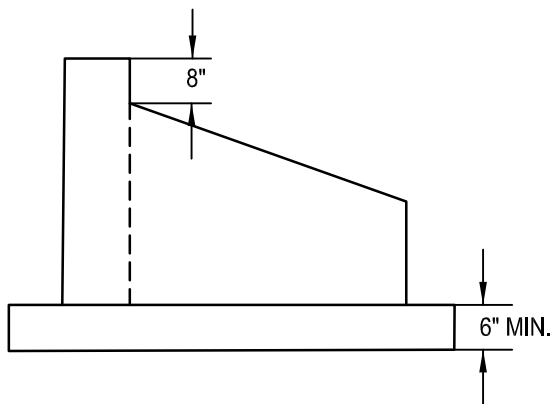
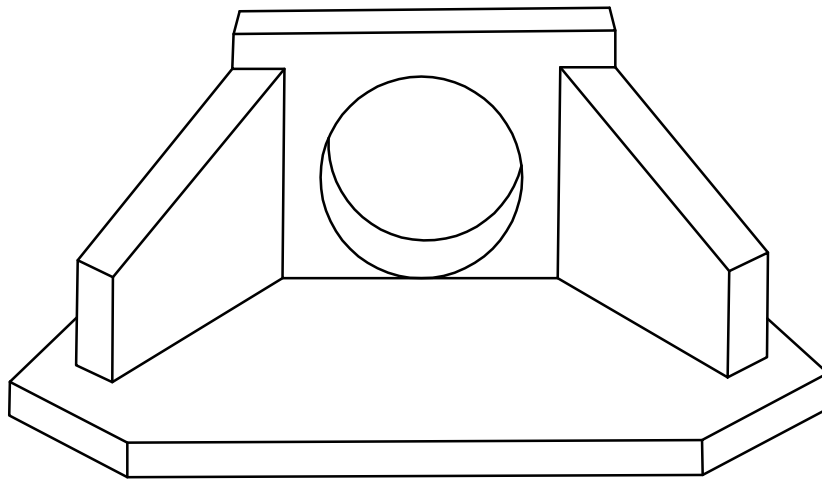
1. DRY SUMP AND TRENCH DRAIN TO BE LOCATED OUTSIDE OF TOWNSHIP RIGHT-OF-WAY.
2. DRY SUMP AND TRENCH DRAIN SYSTEM TO BE OWNED, OPERATED AND MAINTAINED BY EACH RESPECTIVE PROPERTY OWNER ON WHICH THE SYSTEM IS CONSTRUCTED.
3. MAINTENANCE, UNCLOGGING, AND REPAIRS SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.

TYPICAL DRIVEWAY W/ TRENCH DRAIN & DRY SUMP PUMP DETAIL

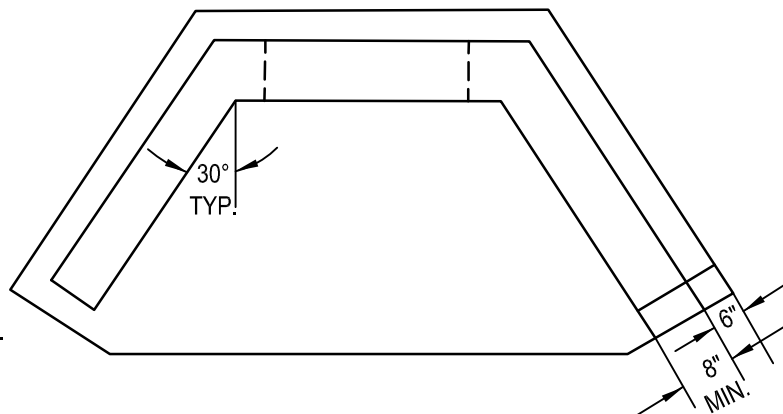


1. ALL PIPES SHALL BE BEDDED AS SHOWN ABOVE USING PADOT 2A STONE WITH THE EXCEPTION OF PVC PIPE, AND CONCRETE PIPE
2. BEDDING MATERIALS FOR ALL DIAMETERS OF PVC PIPE SHALL BE No. 1B STONE.
3. BEDDING MATERIALS FOR ALL DIAMETERS OF CONCRETE PIPE SHALL BE AASHTO NO. 8 STONE

STANDARD BEDDING FOR STORMWATER PIPING



SIDE VIEW



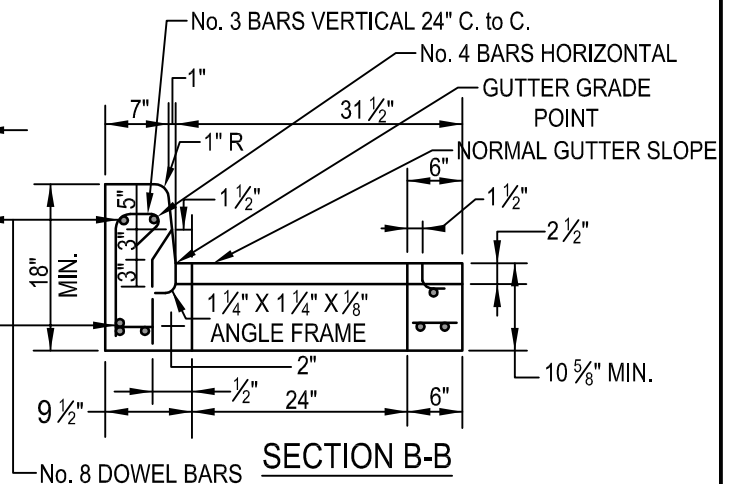
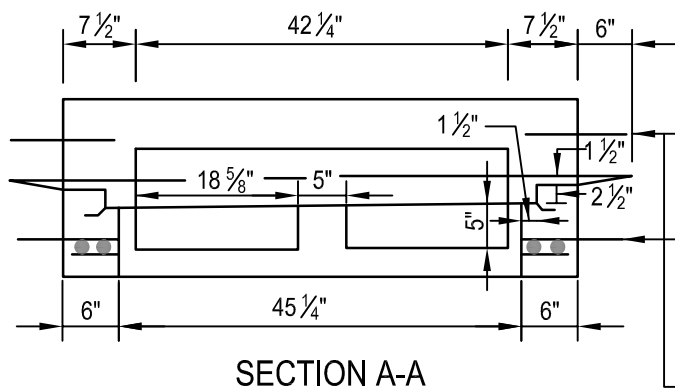
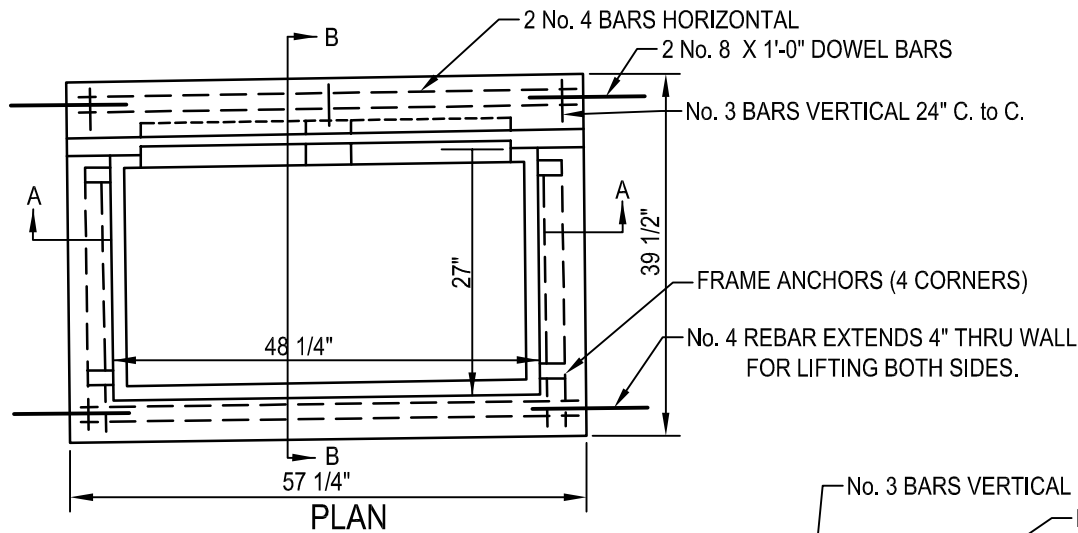
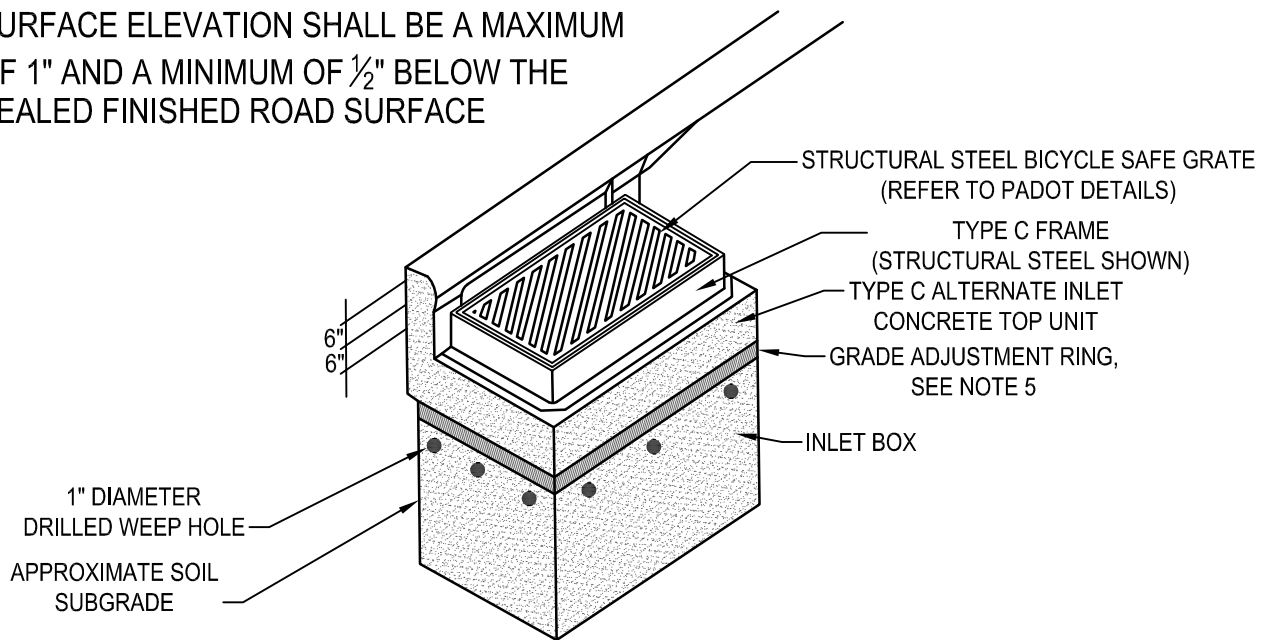
PLAN VIEW

NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PA DOT PUBLICATION 408, SECTION 605 & STANDARDS FOR ROADWAY CONSTRUCTION, RC-31M. ENDWALL SIZING SHALL BE BASED ON PIPE SIZES & ALIGNMENT PRIOR TO ORDERING PRECAST STRUCTURES.
2. ALL DRAINAGE STRUCTURES SHALL HAVE POURED-IN-PLACE CONCRETE CHANNEL BOTTOMS.
3. CONCRETE SHALL BE CLASS "A".
4. EXPOSED EDGES SHALL BE CHAMFERED ONE (1) INCH.
5. PROVIDE CONCRETE APRON WHEN TRASH RACK IS PROPOSED ON HEADWALL.

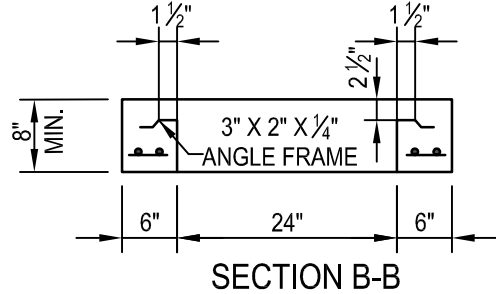
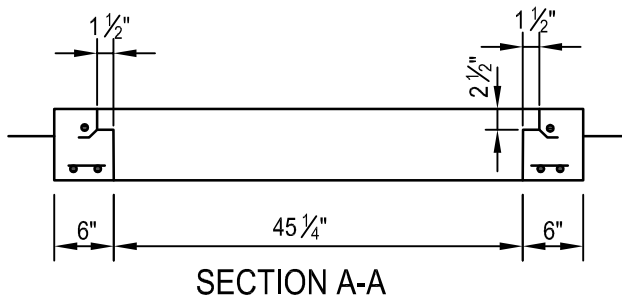
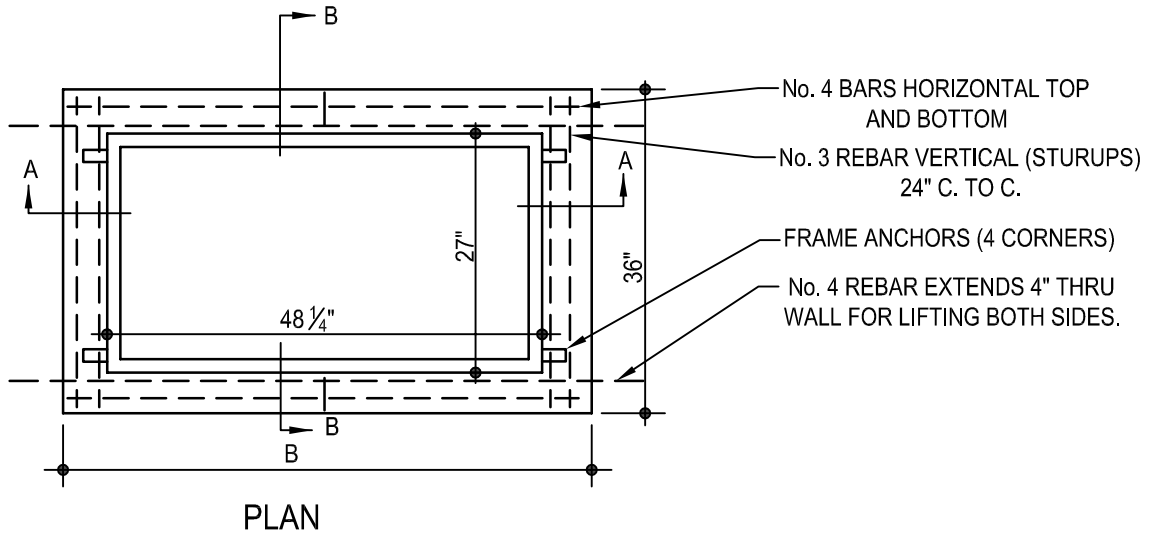
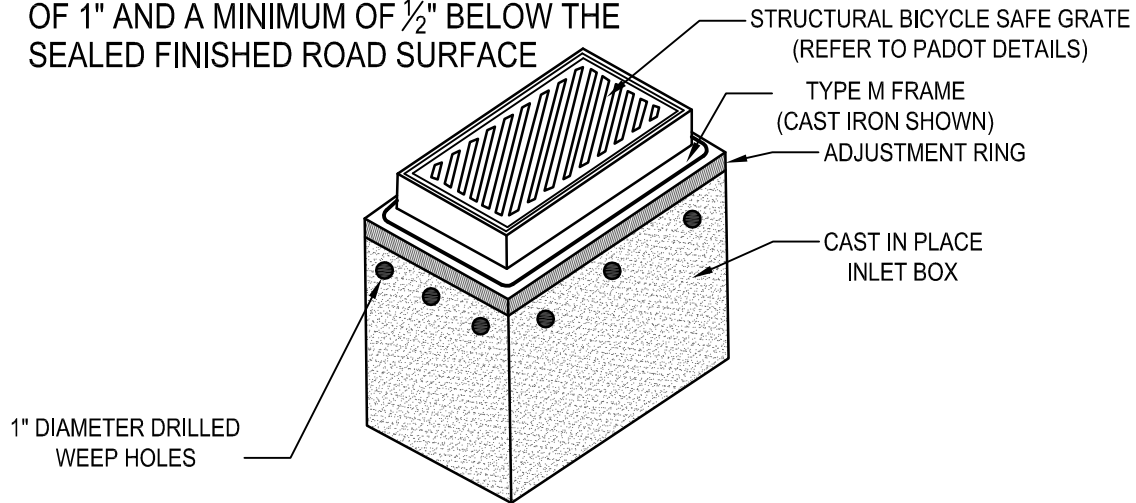
CONCRETE ENDWALL

NOTE: WHEN LOCATED IN A PAVED STREET, GRATE SURFACE ELEVATION SHALL BE A MAXIMUM OF 1" AND A MINIMUM OF 1/2" BELOW THE SEALED FINISHED ROAD SURFACE



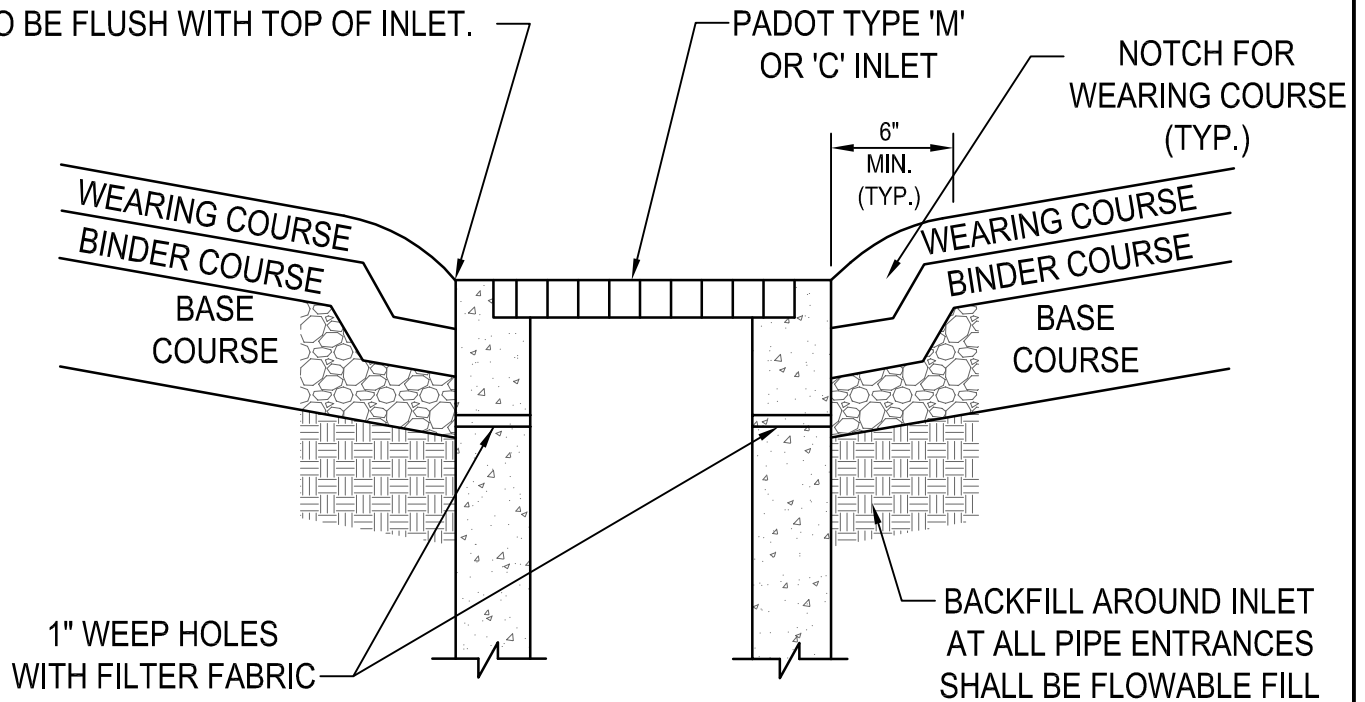
TYPE "C" INLET

NOTE: WHEN LOCATED IN A PAVED STREET, GRATE SURFACE ELEVATION SHALL BE A MAXIMUM OF 1" AND A MINIMUM OF 1/2" BELOW THE SEALED FINISHED ROAD SURFACE



TYPE "M" INLET

BINDER COURSE SHALL BE
INSTALLED TO ALLOW THE WEARING
TO BE FLUSH WITH TOP OF INLET.



PAVEMENT DETAIL AT INLET LOCATION

NOT TO SCALE

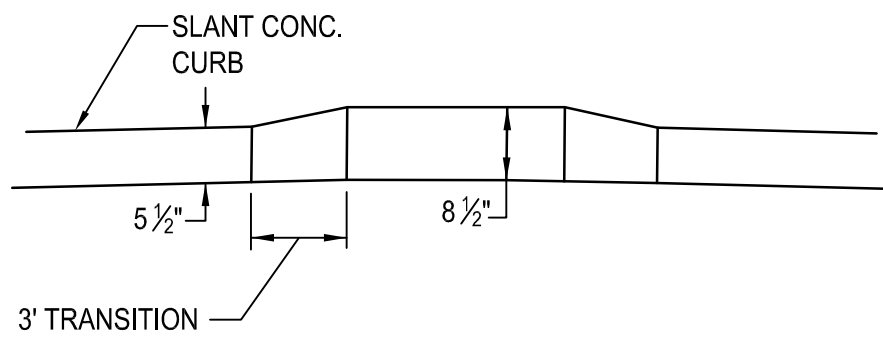
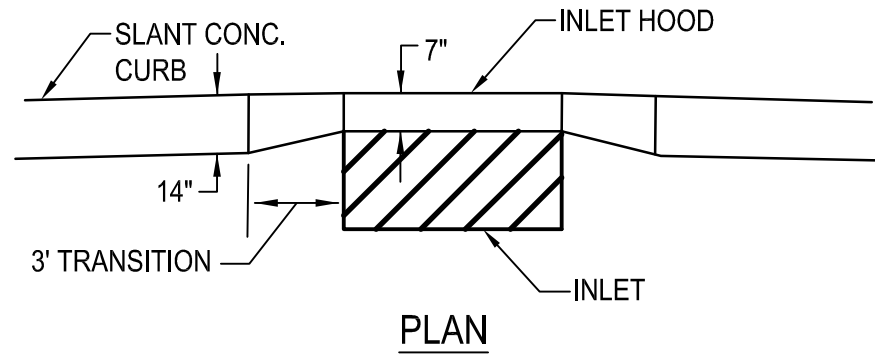
PAVEMENT TREATMENT AT INLET LOCATION

CSE | CLARK SURVEYING
ENGINEERING

83 East Fifth Avenue, Suite 2, Everett, Pennsylvania 15537
Phone: 814.652.2488 Fax: 1.866.381.4127
Website: www.CSE4078.com

WEST PROVIDENCE TOWNSHIP, BEDFORD COUNTY, PENNSYLVANIA

CONSTRUCTION AND MATERIAL SPECIFICATIONS



ELEVATION
NOT TO SCALE

SLANT CURB TRANSITION TO TYPE "C" INLET

R1-1

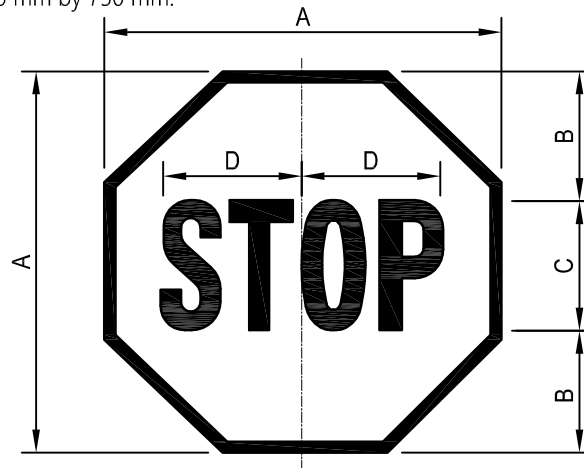
STOP SIGN

(a) Justification. The Stop Sign (R1-1) is authorized for use on those streets or highways which intersect with a through highway or at a stop intersection so designated by the Department with reference to State-designated highways or local authorities with reference to highways under their jurisdiction. The R1-1 sign is also authorized for use in work zones involving one-lane, two-way roadways in accordance with Publication 203M (relating to work zone traffic control).

(b) Authorization. Before local authorities designate any highway as a through highway or stop intersection which will intersect or affect a State-designated highway, approval of such designation shall first be obtained from the Department. Approval to install R1-1 signs in work areas shall not require the approval of the Department or local authorities when the conditions stipulated in Publication 203M (relating to work zone traffic control) are satisfied.

(c) Placement. The R1-1 sign shall be placed in accordance with Department regulations (relating to location of stop and yield signs), or in accordance with Publication 203M (relating to work zone traffic control). When the number of stop approaches to an intersection is three or more, or two or more at an intersection involving two one-way streets, the Multiway Stop Sign (R1-3) shall be placed below each Stop Sign.

(d) Size. The standard size R1-1 sign shall be 750 mm by 750 mm; however, at intersections on minor roads and secondary streets, a 600 mm by 600 mm sign may be used. In work zones, the standard size R1-1 sign for controlling one-lane, two-way traffic shall be 750 mm by 750 mm.



SIGN SIZE AxA	DIMEN. (IN mm)			BOR- DER	BLANK STD.
	B	C	E		
600x600	200	200C	254	15	B1-600
750x750	250	250C	318	20	B1-750
900x900	300	300C	381	20	B1-900
1200x1200	400	400C	508	30	B1-1200

COLOR:

* REDUCE SPACING 40%

LEGEND AND BORDER:
WHITE (REFLECTORIZED)

BACKGROUND:
RED (REFLECTORIZED)

NOTE: THIS DETAIL CREATED FROM DETAIL DATED 10/8/97
BY THE TRAFFIC ENGINEERING AND OPERATIONS DIVISION
BUREAU OF HIGHWAY SAFETY AND TRAFFIC ENGINEERING

STOP SIGN DETAIL

D3-1

STREET NAME SIGN

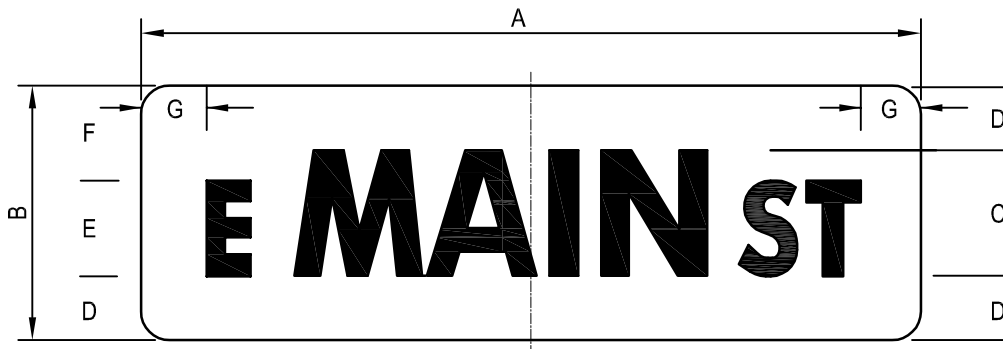
The Street Name Sign (D3-1) shall be authorized for use as a post mounted sign to identify names of streets for motorists and pedestrians. The D3-1, or other official type of street name sign, should be placed at all street intersections regardless of other route marking that may be present.

When the D3-1 signs are used in business districts, they should be placed at least on the diagonally opposite corner so that they will be on the far right-hand side of the intersection for traffic on the more important street. Signs naming both streets should be erected at each location. They should be mounted with their faces parallel to the streets they name, as close to the corner as practical with the nearest part of each sign not less than 12 in., and preferably 24 in., back from both curb lines.

In residential districts, D3-1 signs should be mounted as in business districts, but a single location at each intersection shall ordinarily suffice on all but the most important thoroughfares.

The name shall appear on street name signs in capital lettering at least 6 in. high. Larger legend, however, is optional. Lettering 8 in. or greater should be composed of lower-case letters with an initial upper-case letter. The overall width of the sign is variable up to 36 in. width with 6 in. legend. Except when necessary to avoid confusion, suffixes such as "ST", "DR", and "RD", or sections of the city such as "NW" should not be used. When used, this supplemental lettering may be in smaller lettering, at least 4 in. high.

The street name sign should be reflectorized or illuminated and should have a white legend on a green or black background or black legend on a white background or other contrasting colors.



COLOR:

LEGEND:

WHITE (REFLECTORIZED)

BACKGROUND:

GREEN (REFLECTORIZED) OR
BLACK (NON-REFLECTORIZED)

OR

LEGEND:

BLACK (NON-REFLECTORIZED)

BACKGROUND:

WHITE (REFLECTORIZED)

SIGN SIZE AxB	DIMEN. (IN in.)					TYPE OF STREET AND SPEEDLIMIT
	C	D	E	F	G	
VAR X 6"	4"*	1"	3"*	2"	1"	2-LANE, ALL SPEED LIMITS
VAR X 9"	6"*	1.5"	4.5"*	3"	1.4"	MULTI-LANE, 40 MPH OR LESS
VAR X 12"	9"*	2"	6"*	4"	2"	MULTI-LANE, MORE THAN 40 MPH

* CHOOSE STANDARD ALPHABET SERIES FOR BEST FIT

NOTE: THIS DETAIL IS BASED ON FHWA FIGURE D3-1
PENNDOT PUB. 236 AND PENNDOT TECHNICAL
INFORMATION SHEET #174.

STREET NAME SIGN DETAIL

CSE | CLARK SURVEYING
ENGINEERING

83 East Fifth Avenue, Suite 2, Everett, Pennsylvania 15537
Phone: 814.652.2488 Fax: 1.866.381.4127
Website: www.CSE4078.com

WEST PROVIDENCE TOWNSHIP, BEDFORD COUNTY, PENNSYLVANIA

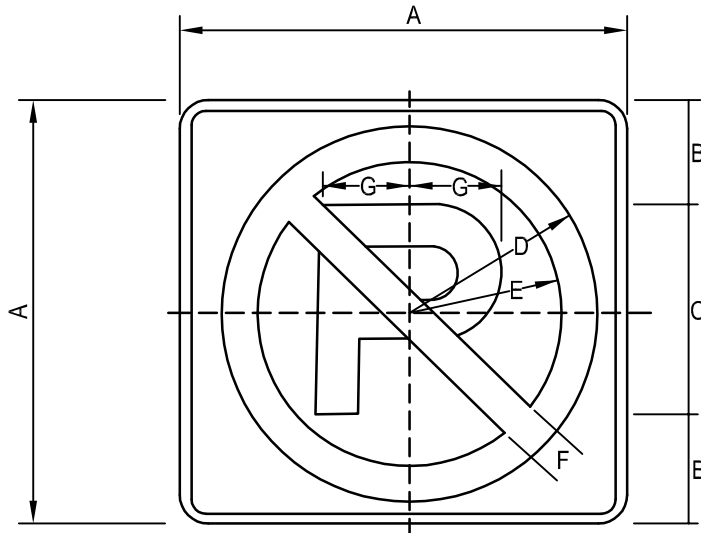
CONSTRUCTION AND MATERIAL SPECIFICATIONS

R8-3A

NO PARKING SYMBOL SIGN

(a) Justification. The No Parking Symbol Sign (R8-3A) shall be authorized for use in accordance with Department regulations (relating to justification and description; placement; and size) to prohibit parking along a given highway. If the restriction applies to a limited area or zone, supplemental signs or messages shall be authorized to show the limits of the restriction. Authorized supplemental signs include, but are not limited to the Restricted Hours Panel (R3 20), No Parking Restricted Hours Plaque (R/2), No Parking Loading Zone Plaque (R7-7), Tow Away Zone Sign (R7-201) and No Parking On Pavement Sign (R8 1). As an alternate to the use of supplemental signs, the appropriate supplemental message and the no parking symbol may be incorporated into a single sign.

(b) Size. The standard size R8-3A sign shall be 300mm by 300mm in business, residential, or park areas and 600mm by 600mm in rural areas. The standard size for expressways shall be 900mm by 900mm.



SIGN SIZE AxA	DIMENSIONS (IN MILLIMETERS)						MAR- GIN	BOR- DER	BLANK STD.
	B	C	D	E	F	G			
300 X 300	75	150 E(M)	122	97	25	61	10	10	—
600 X 600	150	300 E(M)	262	212	50	123	10	15	B3-600
900 X 900	225	450 E(M)	395	320	75	182	10	20	B3-900

COLOR:

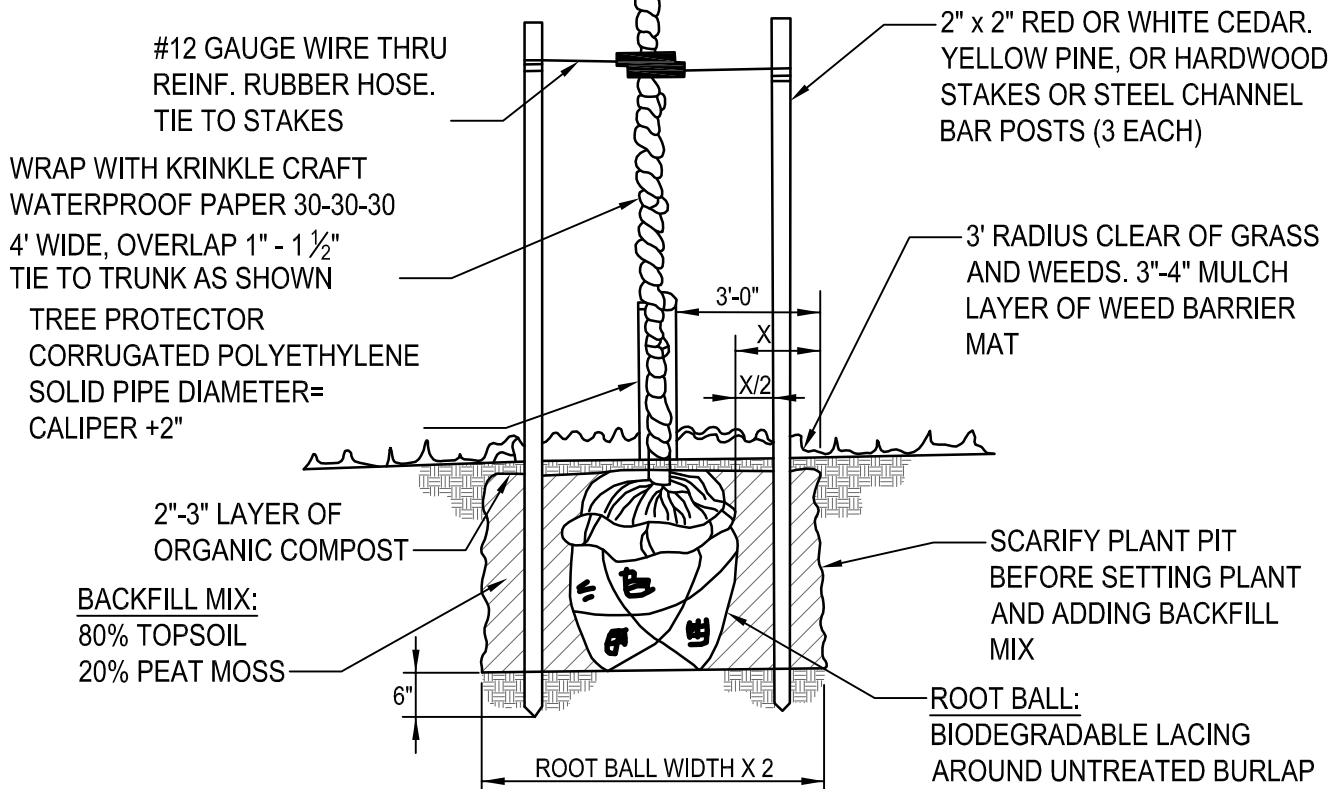
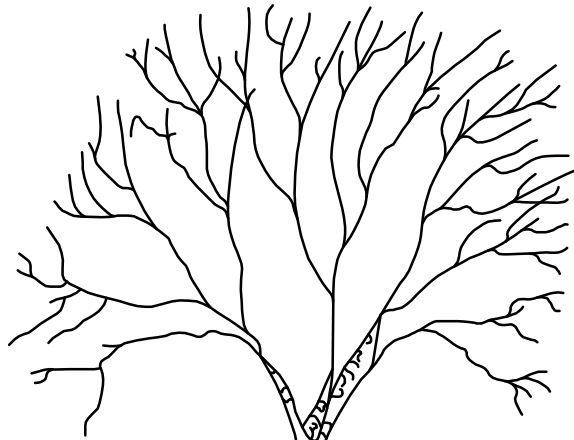
SYMBOL AND BORDER:
BLACK (NON-REFLECTORIZED)

CIRCLE AND DIAGONAL:
RED (REFLECTORIZED)

BACKGROUND:
WHITE (REFLECTORIZED)

NOTE: THIS DETAIL CREATED FROM DETAIL DATED 4/3/97
BY THE TRAFFIC ENGINEERING AND OPERATIONS DIVISION
BUREAU OF HIGHWAY SAFETY AND TRAFFIC ENGINEERING

NO PARKING SYMBOL SIGN DETAIL



- FERTILIZE WITH 0-20-0 (CLAY SOIL), 20-10-5 OR 16-8-16 (SANDY SOIL) BEFORE MULCHING (1 LB./CU. FT. OF SOIL)
- TREE'S MIN. 10'-0" OFF ROAD R/W.
- SPECIES TO BE SELECTED FROM WEST PROVIDENCE TOWNSHIP APPROVED LIST

PLANTING DETAIL

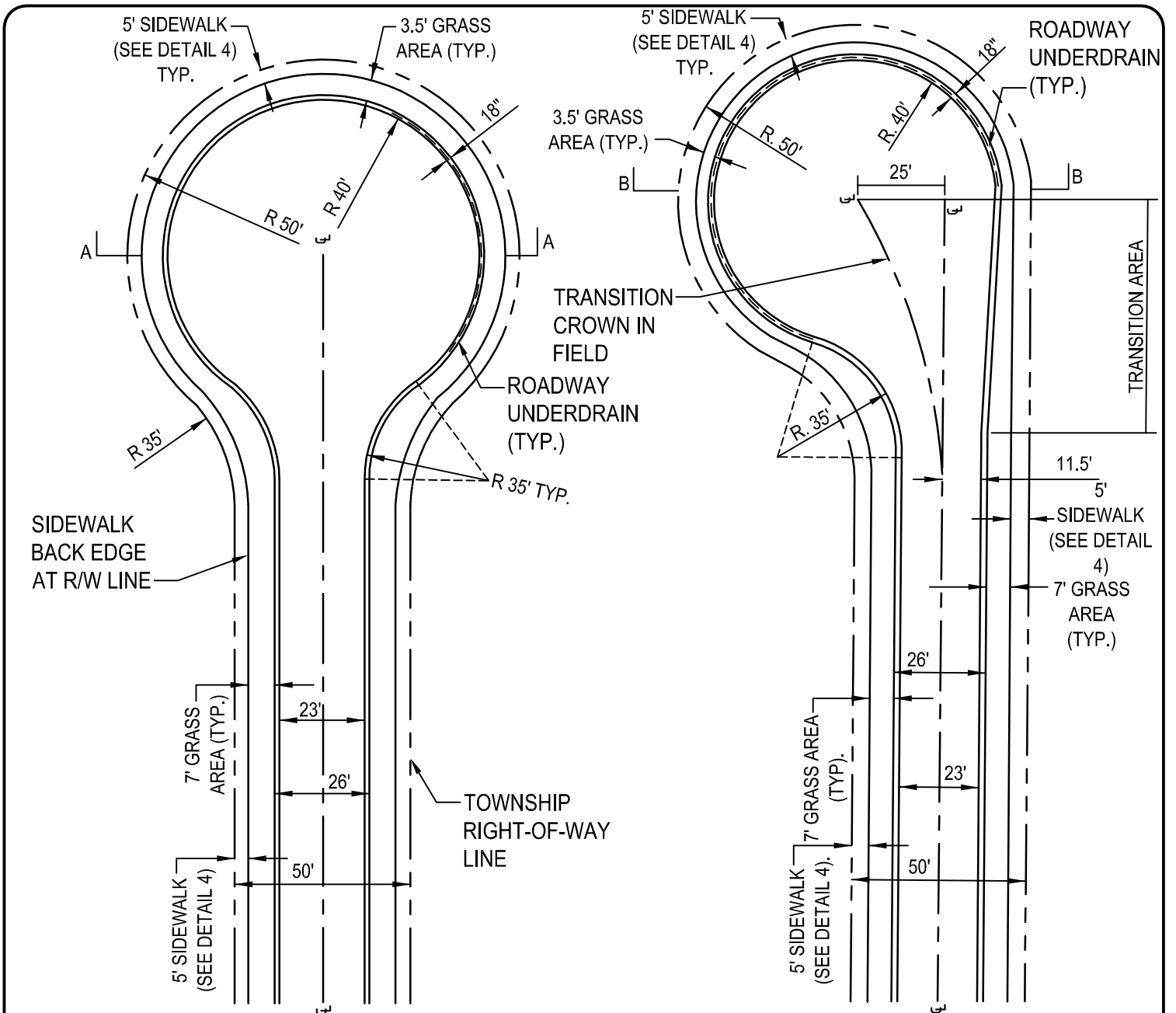
DECIDUOUS SHADE & FLOWERING TREE DETAIL

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WEST PROVIDENCE TOWNSHIP, BEDFORD COUNTY, PENNSYLVANIA

CONSTRUCTION AND MATERIAL SPECIFICATIONS

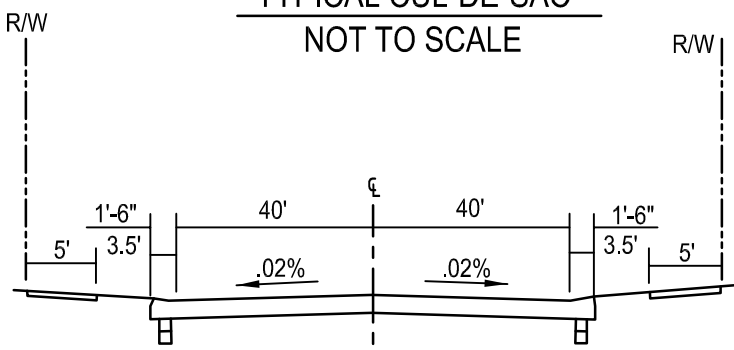


TYPICAL CUL-DE-SAC

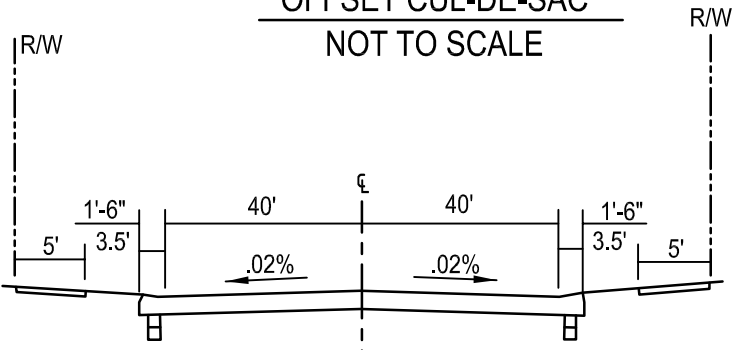
NOT TO SCALE

OFFSET CUL-DE-SAC

NOT TO SCALE

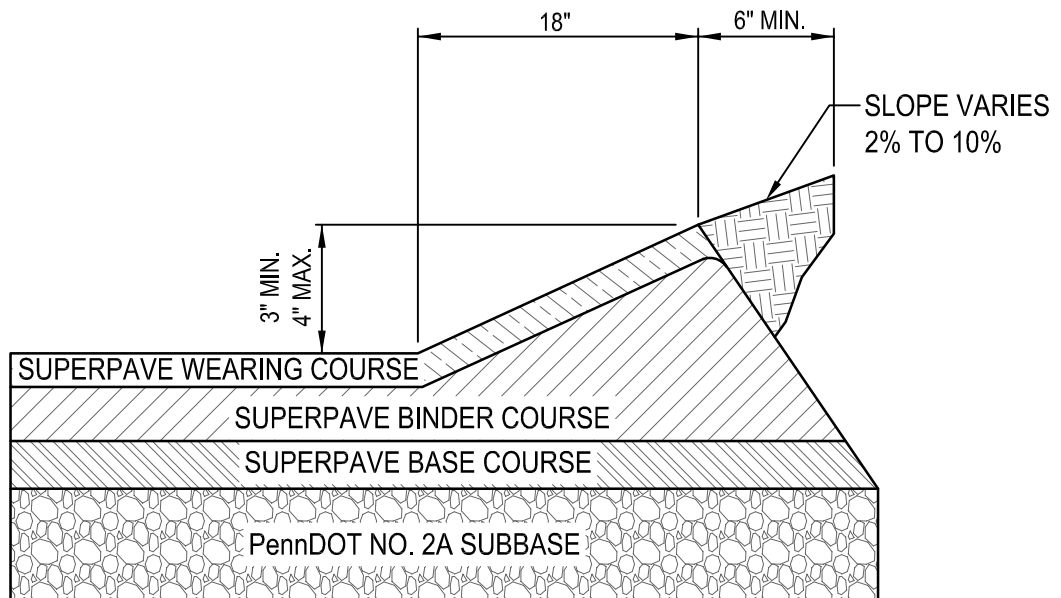


SECTION A-A
NOT TO SCALE



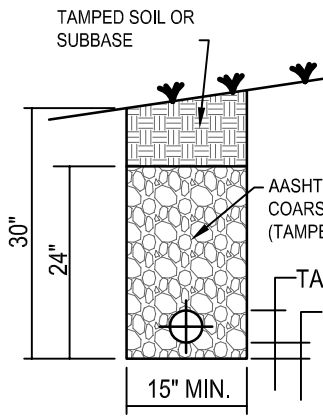
SECTION B-B
NOT TO SCALE

CUL-DE-SAC WITHOUT ISLAND

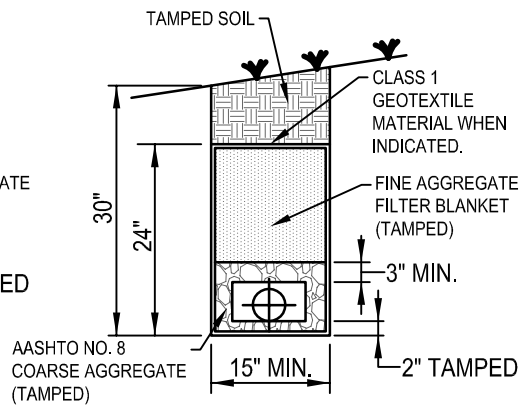


TYPICAL BITUMINOUS CONCRETE WEDGE CURB
NOT TO SCALE

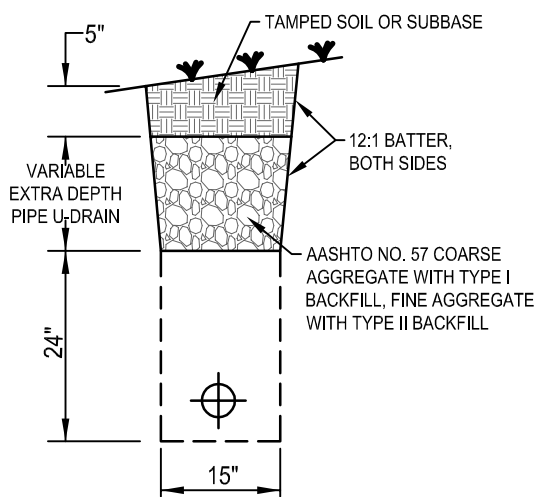
TYPICAL BITUMINOUS CONCRETE WEDGE CURB



**TYPE 1 BACKFILL
ROCK AND SHALE**



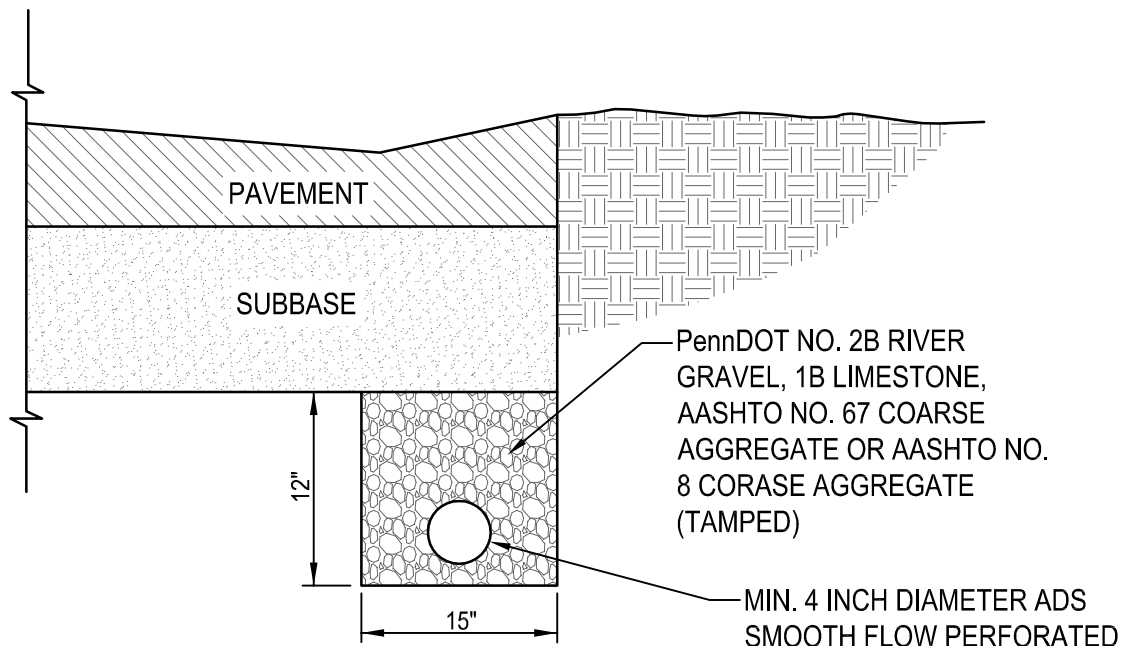
TYPE II BACKFILL SOIL



EXTRA DEPTH

- NOTES:
1. SLAG IS NOT PERMITTED AS BACKFILL.
 2. 100% STONE BACKFILL IS REQUIRED THE FULL WIDTH OF RIGHT-OF-WAY

**PIPE UNDERDRAIN
NOT TO SCALE**

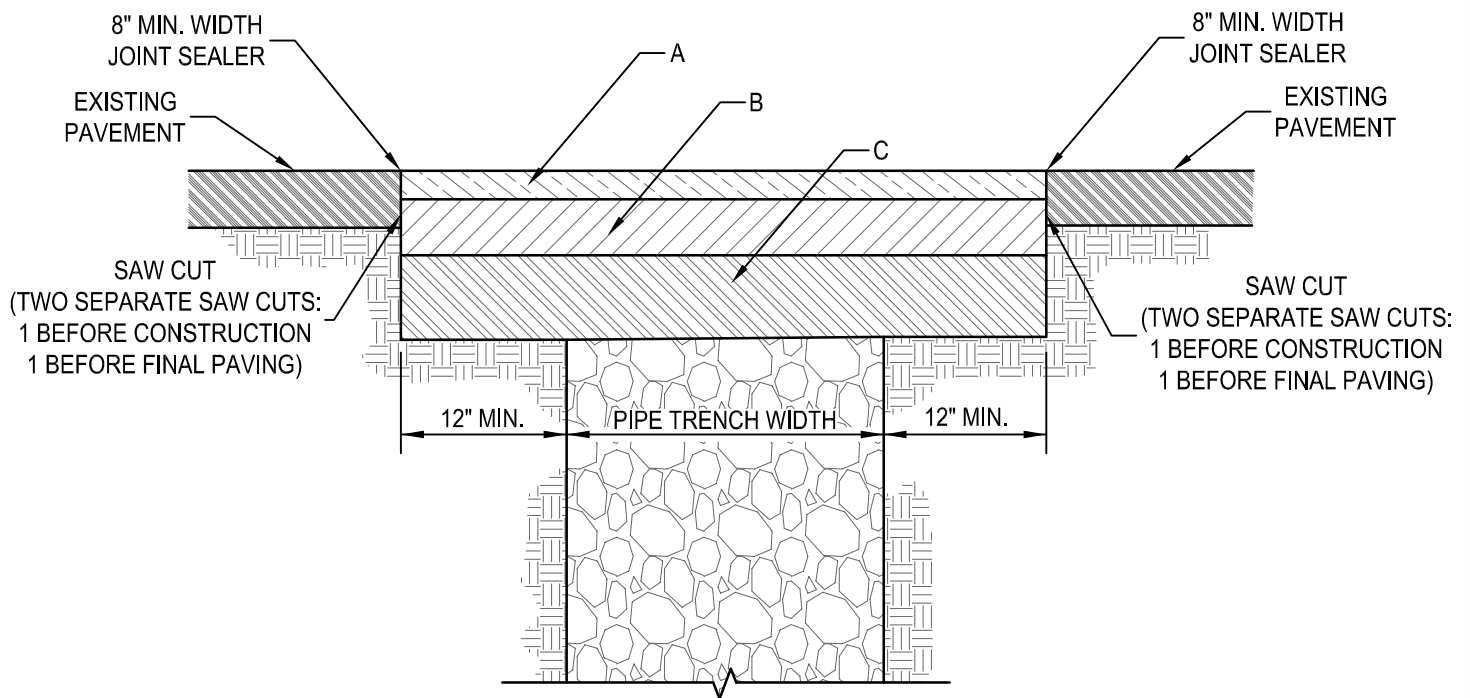


**PAVEMENT BASE DRAIN
NOT TO SCALE**

- NOTES:
1. UNDERDRAINS TO BE INSTALLED ON BOTH SIDES OF CARTWAY IN ALL CASES.
 2. THE DEVELOPER TO PROVIDE ADDITIONAL UNDERDRAIN AT LOCATIONS AS SPECIFIED BY THE TOWNSHIP.
 3. SLAG IS NOT PERMITTED AS BACKFILL.
 4. 100% STONE BACKFILL IS REQUIRED THE FULL WIDTH OF RIGHT-OF-WAY.

MIN. 4 INCH DIAMETER ADS SMOOTH FLOW PERFORATED BELL AND SPIGOT UNDERDRAINS. LARGER PIPES MAY BE REQUIRED AT THE DISCRETION OF THE TOWNSHIP.

PIPE UNDERDRAIN/PAVEMENT BASE DRAIN



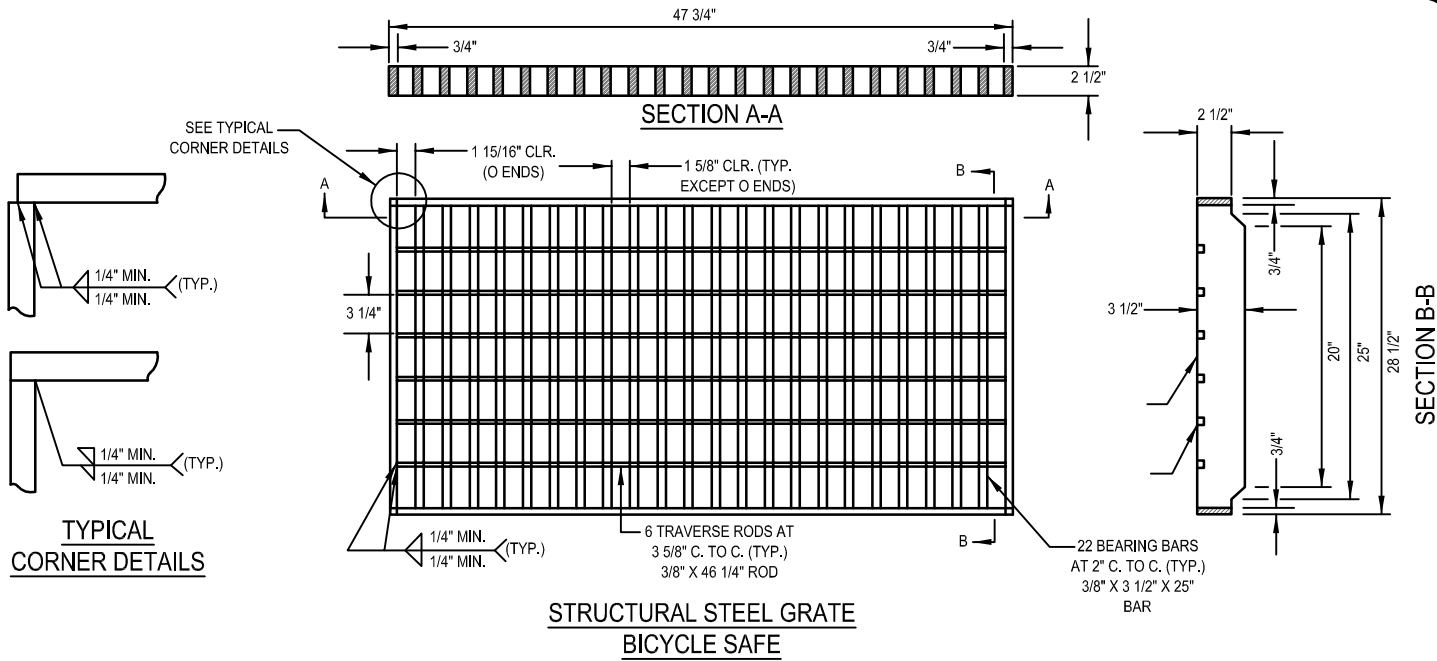
LEGEND

- A. 1-1/2" MIN. (COMPACTED THICKNESS) OR EXISTING THICKNESS, WHICHEVER IS GREATER, OF SUPERPAVE HMA WEARING COURSE, SRL-H (PENNDOT PUB. 408, SECTION 409)
- B. 3" MIN. (COMPACTED THICKNESS) OR EXISTING THICKNESS, WHICHEVER IS GREATER, OF SUPERPAVE HMA BINDER COURSE, SRL-H (PENNDOT PUB. 408, SECTION 409)
- C. 5" MIN. (COMPACTED THICKNESS)(TWO LIFTS) OR EXISTING THICKNESS, WHICHEVER IS GREATER, OF SUPERPAVE HMA BASE COURSE (PENNDOT PUB. 408, SECTION 409)

NOTES

1. DURING COLD WEATHER MONTHS PROVIDE AND MAINTAIN A TEMPORARY BITUMINOUS COLD PATCH SURFACE UNTIL WEATHER PERMITS SUPERPAVE HMA PAVING,
2. TOWNSHIP ROADMASTER MUST BE NOTIFIED 72 HOURS IN ADVANCE OF ROAD OPENING AND SURFACING.
3. SLAG IS NO PERMITTED AS BACKFILL WITHIN TOWNSHIP RIGHT-OF-WAYS OR EASEMENTS.
4. 100% 2A STONE BACKFILL IS REQUIRED THE FULL WIDTH OF THE RIGHT-OF-WAY. TEMPORARY PIPE BACKFILL USING EXCAVATED MATERIAL IS NOT PERMITTED.
5. ALL UTILITY CROSSINGS MUST BE MADE PERPENDICULAR TO THE CENTERLINE OF THE CARTWAY.
6. FOR PIPE BEDDING AND BACKFILL MATERIALS REFER TO CONSTRUCTION DETAILS #10 AND #14.
7. ASPHALY MIX DESIGN MUST BE SUBMITTED TO TOWNSHIP FOR APPROVAL A MINIMUM OF 72 HOURS PRIOR START OF WORK.

SUPERPAVE HMA TRENCH REPAIR

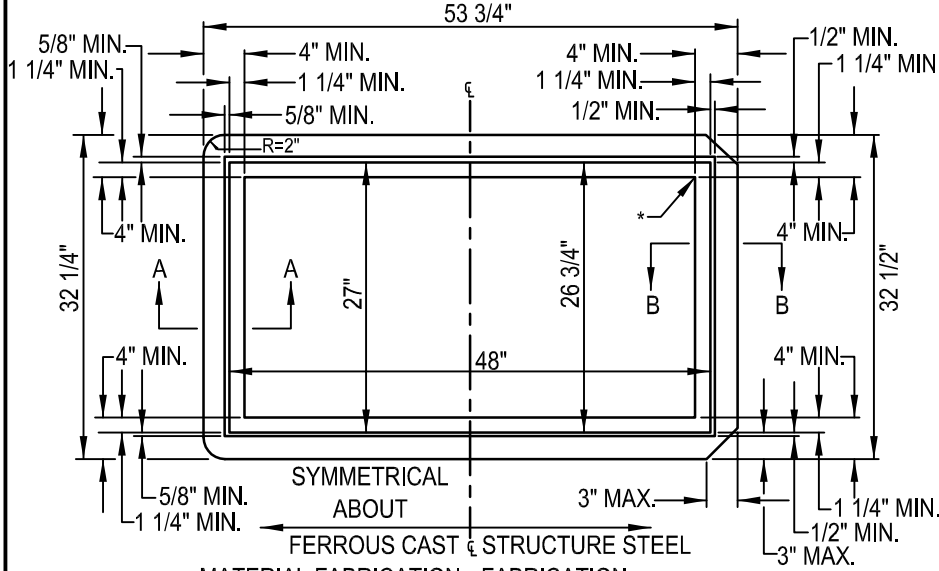


**TYPICAL
CORNER DETAILS**

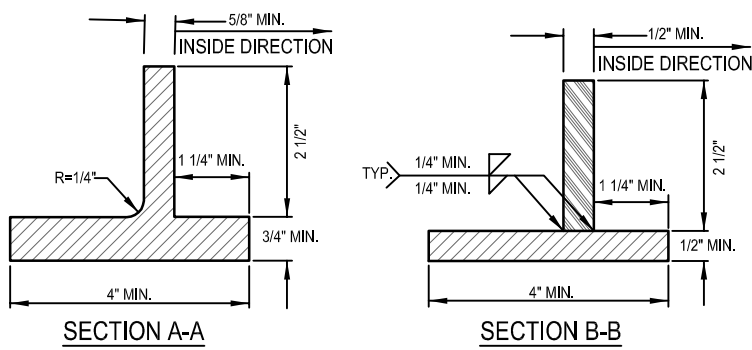
**STRUCTURAL STEEL GRATE
BICYCLE SAFE**

NOTES

1. THIS SHEET DEPICTS THE DIMENSIONS REQUIRED FOR UNIFORMITY AND INTERCHANGEABILITY. IT DOES NOT INCLUDE DETAILS REQUIRED FOR FABRICATION OR MANUFACTURING. ONLY GRATES SUPPLIED BY A MANUFACTURER LISTED IN PennDOT BULLETIN 15 SHALL BE PERMITTED
2. WELD STRUCTURAL STEEL GRATES IN ACCORDANCE WITH THE REQUIREMENTS OF PUBLICATION 408, SECTION 1105.
3. WELD STRUCTURAL STEEL FRAMES IN ACCORDANCE WITH PUBLICATION 408, SECTION 1105. COAT FRAMES WITH AN APPROVED BITUMINOUS PAINT, IN ACCORDANCE WITH PUBLICATION 408 SECTION 605.2(f). AS AN ALTERNATE TO BITUMINOUS PAINT, GALVANIZE FRAMES IN ACCORDANCE WITH PUBLICATION 408, SECTION 1105.2(s).
4. PROVIDE TRANSVERSE RODS, MEETING THE REQUIREMENTS OF PUBLICATION 408.
5. PROVIDE STRUCTURAL STEEL GRATES WITH THE GRATE SPACERS LOCATED FLUSH ALONG THE TOP SURFACE OF THE GRATE.
6. DO NOT USE CAST IRON CRATES OR FRAMES WITHIN THE TOWNSHIP ROADWAYS.
7. SOURCE: PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, RC-45M (LATEST EDITION)



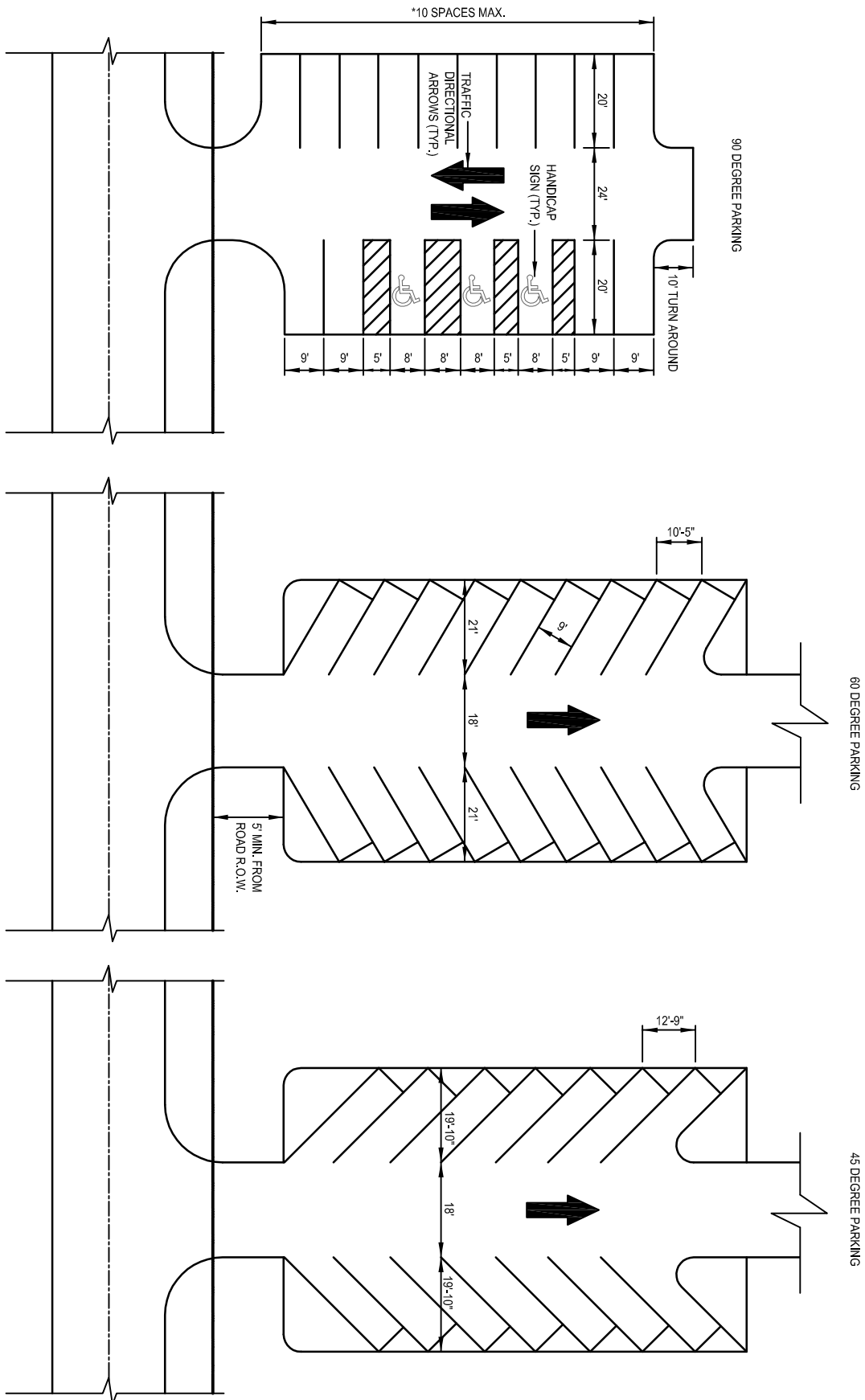
*CORNER CONFIGURATION DETAILS ARE FABRICATOR'S RESPONSIBILITY AND SHALL BE APPROVED.



TYPE M INLET (FRAME & BICYCLE SAFE GRATE)

CONSTRUCTION NOTES

1. ALL OFF-STREET PARKING AREAS OF MORE THAN FIVE (5) VEHICLES AND (2) ACCESS DRIVES LEADING TO THE PARKING AREA WHICH ARE ACCESSIBLE TO THE GENERAL PUBLIC SHALL BE GRADED FOR PROPER DRAINAGE AND CONSIST OF A STABLE/SLIP RESISTANT MATERIAL.
2. HANDICAPPED ACCESSIBLE PARKING SPACES SHALL BE PROVIDED FOR PARKING AREAS PER SECTION 702.9.E OF THE WEST PROVIDENCE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
3. ALL PARKING AREAS GREATER THAN 20,000 S.F. SHALL INCLUDE INTERIOR LANDSCAPING OF AT LEAST 10% OF THE PARKING AREA PER SECTION 702.9.E.2.



PARKING CONFIGURATIONS

**CERTIFICATE FOR APPROVAL BY THE
WEST PROVIDENCE TOWNSHIP SUPERVISORS**

APPROVED BY RESOLUTION OF THE WEST PROVIDENCE
TOWNSHIP BOARD OF SUPERVISORS ON THIS _____ DAY OF
_____, 20_____.

(CHAIRMAN)

(SECRETARY)

**CERTIFICATE OF REVIEW BY THE
WEST PROVIDENCE TOWNSHIP PLANNING COMMISSION**

REVIEWED BY THE WEST PROVIDENCE TOWNSHIP PLANNING
COMMISSION ON THIS _____ DAY OF _____,
20_____.

(CHAIRMAN)

(SECRETARY)

**CERTIFICATE OF REVIEW BY
BEDFORD COUNTY PLANNING COMMISSION**

REVIEWED BY THE BEDFORD COUNTY PLANNING COMMISSION
THIS _____ DAY OF _____, 20_____.

(DIRECTOR)

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS SURVEY AND PLAN ARE CORRECT AS
SHOWN TO THE BEST OF MY KNOWLEDGE AND BELIEF.

(SIGNATURE)

(DATE)

(LICENSE NO.)

CERTIFICATE OF OWNERSHIP

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BEDFORD
ON THIS, THE _____ DAY OF _____, 20_____, BEFORE ME,
THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____,
WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THEY
ARE THE OWNER AND/OR EQUITABLE OWNER OF THE PROPERTY SHOWN ON THIS
PLAN, AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR PLAN, AND THAT
THEY DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

(OWNER SIGNATURE)

NOTARIZATION:

SWORN TO AND SUBSCRIBED TO BEFORE ME THIS _____ DAY OF _____, 20____

NOTARY PUBLIC

STATE OF: _____

COUNTY OF: _____

MY COMMISSION EXPIRES: _____

TYPICAL SIGNATURE BLOCK

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ENGINEERING

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WEST PROVIDENCE TOWNSHIP, BEDFORD COUNTY, PENNSYLVANIA

CONSTRUCTION AND MATERIAL SPECIFICATIONS

APPENDIX C

Appendix c
Recommended Tree and Shrub List
Landscape Plans for West Providence Township
Bedford County, Pennsylvania

Native Trees

Height in Feet at Maturity	Scientific Name	Common Name
40	<i>Acer pensylvanicum</i>	Striped Maple
40	<i>Acer rubrum</i>	Red Maple
30	<i>Amelanchier canadensis</i>	Shadbush, Serviceberry
25	<i>Amelanchier laevis</i>	Shadblow, Shadbush
40	<i>Aralia spinosa</i>	Devil's Walking Stick
35	<i>Asimina triloba</i>	Pawpaw
60	<i>Betula lenta</i>	Sweet or Black Birch
70	<i>Betula lutea</i>	Yellow Birch
40	<i>Betula nigra</i>	River Birch
35	<i>Carpinus caroliniana</i>	Hornbeam, Ironwood
85	<i>Carya cordiformis</i>	Bitternut Hickory
85	<i>Carya glabra</i>	Pignut Hickory
85	<i>Carya laciniosa</i>	Shellbark Hickory
85	<i>Carya ovalis</i>	Sweet Pignut/Red Hickory
85	<i>Carya ovata</i>	Shagbark Hickory
85	<i>Carya tomentosa</i>	Mockernut Hickory
75	<i>Castanea dentate*</i>	American Chestnut
90	<i>Celtis occidentalis</i>	Common Hackberry
35	<i>Cercis canadensis</i>	Eastern Redbud
35	<i>Cornus alternifolia</i>	Pagoda Dogwood
35	<i>Cornus florida</i>	Flowering Dogwood
35	<i>Crataegus crusgalli</i>	Cockspur Hawthorn
20	<i>Crataegus pruinosa</i>	Frosted Hawthorn
30	<i>Crataegus punctata</i>	Dotted Hawthorn
60	<i>Diospyros virginiana</i>	Common Persimmon
60	<i>Gleditsia triacanthos</i>	Common Honeylocust
45	<i>Ilex opaca</i>	American Holly
75	<i>Juglans cinerea</i>	Butternut
60	<i>Juniperus virginiana</i>	Eastern Red Cedar
90	<i>Liquidambar styraciflua</i>	Sweet Gum
90	<i>Liriodendron tulipifera</i>	Tulip Tree/Tulip Poplar
90	<i>Magnolia acuminata</i>	Cucumbertree Magnolia
35	<i>Malus coronaria</i>	American crabapple
50	<i>Morus rubra</i>	Red Mulberry
60	<i>Nyssa sylvatica</i>	Black Gum
40	<i>Ostrya virginiana</i>	Hop Hornbeam
60	<i>Picea glauca</i>	White Spruce
75	<i>Pinus pungens</i>	Table Mountain Pine
75	<i>Pinus rigida</i>	Pitch Pine

Native Trees, continued

Height in Feet at Maturity	Scientific Name	Common Name
70	<i>Pinus strobus</i>	White Pine
90	<i>Platanus x acerifolia</i> (hybrid)	London Planetree
35	<i>Prunus americana</i>	American Plum
80	<i>Prunus serotina</i>	Black Cherry
35	<i>Ptelea trifoliata</i>	Common Hoptree
90	<i>Quercus alba</i>	White Oak
90	<i>Quercus bicolor</i>	Swamp White Oak
90	<i>Quercus borealis</i>	Northern Red Oak
80	<i>Quercus coccinea</i>	Scarlet Oak
70	<i>Quercus ellipsoidalis</i>	Northern Pin Oak
20	<i>Quercus ilicifolia</i>	Scrub Oak
50	<i>Quercus imbricaria</i>	Shingle Oak
60	<i>Quercus macrocarpa</i>	Bur Oak
45	<i>Quercus marilandica</i>	Blackjack Oak
80	<i>Quercus montana</i>	Chestnut Oak
50	<i>Quercus muhlenbergi</i>	Chinkapin Oak
20	<i>Quercus prinoides</i>	Dwarf Chinkapin Oak
60	<i>Quercus rubra</i>	Red Oak
60	<i>Quercus shumardii</i>	Shumark Oak
50	<i>Quercus prinus</i>	Chestnut Oak
80	<i>Quercus velutina</i>	Black Oak
50	<i>Sassafras albidum</i>	Common Sassafras
50	<i>Thuja occidentalis</i>	Eastern Arborvitae
90	<i>Tilia americana</i>	American Linden
90	<i>Tsuga canadensis</i> *	Canada Hemlock
90	<i>Ulmus americana</i> *	American Elm
90	<i>Ulmus rubra</i>	Slippery/Red Elm
35	<i>Viburnum lentago</i>	Nannyberry Viburnum
35	<i>Viburnum prunifolium</i>	Black Haw

- *Purchase only when resistant cultivar is available
- Note: All ash trees are susceptible to the emerald ash borer and should not be planted until a resistant cultivar is available

Native Shrubs

Height in Feet at Maturity	Scientific Name	Common Name
30	<i>Alnus serrulata</i>	Common Alder
9	<i>Aronia arbutifolia</i>	Red Chokeberry
8	<i>Aronia melanocarpa</i>	Black Chokeberry
12	<i>Aronia prunifolia</i>	Purplefruit Chokeberry
5	<i>Callicarpa Americana</i>	Beautyberry
12	<i>Calycanthus floridus</i>	Sweetshrub
3	<i>Ceanothus americanus</i>	Jerseytea Ceanothus
10	<i>Cephalanthus occidentalis</i>	Buttonbush
18	<i>Clethra acuminata</i>	Summersweet
18	<i>Clethra alnifolia</i>	Summersweet
9	<i>Cornus amomum</i>	Silky Dogwood
12	<i>Cornus racemosa</i>	Gray Dogwood
12	<i>Cornus rugosa</i>	Roundleaf Dogwood
10	<i>Cornus stolonifera</i>	Red Osier Dogwood
12	<i>Corylus Americana</i>	American Filbert/Hazelnut
12	<i>Corylus cornuta</i>	Beaked Filbert
3	<i>Diervilla lonicera</i>	Dwarf Bushhoneysuckle
9	<i>Dirca palustris</i>	Atlantic Leatherwood
15	<i>Hamamelis virginiana</i>	Witch Hazel
6	<i>Hydrangea arborescens</i>	Smooth Hydrangea
3	<i>Hypericum prolificum</i>	Shrubby St. Johnswort
3-9	<i>Itea virginica</i>	Sweetspire
9	<i>Ilex glabra</i>	Inkberry
10	<i>Ilex verticillata</i>	Winterberry Holly
6	<i>Kalmia latifolia</i>	Mountain Laurel
8	<i>Lindera benzoin</i>	Spicebush
6	<i>Lonicera canadensis</i>	American Fly Honeysuckle
12	<i>Lyonia ligustrina</i>	He-huckleberry
12	<i>Physocarpus opulifolius</i>	Common Ninebark
15	<i>Rhododendron arborescens</i>	Sweet Azalea
10	<i>Rhododendron canadense</i>	Catawba Rhododendron
20	<i>Rhododendron maximum</i>	Rosebay Rhododendron
9	<i>Rhododendron roseum</i>	Roseshell Azalea
6	<i>Rhododendron nudiflorum</i>	Pinxterbloom Azalea
6	<i>Rhododendron viscosum</i>	Swamp Azalea
8	<i>Rhus aromatica</i>	Fragrant Sumac
20	<i>Rhus copallina</i>	Flameleaf Sumac
15	<i>Rhus glabra</i>	Smooth Sumac
20	<i>Rhus typhina</i>	Staghorn Sumac
6	<i>Ribes americanum</i>	American Black Currant

Native Shrubs, continued

Height in Feet at Maturity	Scientific Name	Common Name
6	<i>Ribes cynobati</i>	Pasture Gooseberry
4	<i>Rosa Carolina</i>	Carolina Rose
12	<i>Salix humilis</i>	Prairie Willow
20	<i>Salix lucida</i>	Shining Willow
12	<i>Sambucus canadensis</i>	Elderberry
12	<i>Sambucus pubens</i>	Scarlet Elder
6	<i>Spirea alba</i>	Narrowleaf Meadowsweet Spirea
4	<i>Spirea corymbosa</i>	Corymed Spirea
6	<i>Spirea tomentosa</i>	Hardhack Spirea
12	<i>Staphylea trifolia</i>	American Bladdernut
6	<i>Symphoricarpos albus leavigatus</i>	Snowberry
5	<i>Symphoricarpos orbiculatus</i>	Coralberry
6	<i>Taxus Canadensis</i>	Canada Yew
2	<i>Vaccinium angustifolium</i>	Lowbush Blueberry
6	<i>Vaccinium corymbosum</i>	Highbush Blueberry
12	<i>Vaccinium stamineum</i>	Common Deerberry
5	<i>Viburnum acerifolium</i>	Mapleleaf Viburnum
6	<i>Viburnum cassinoides</i>	Witherod
10	<i>Viburnum dentatum</i>	Arrowwood
15	<i>Viburnum nudum</i>	Smooth Witherod
10	<i>Viburnum rafinesquianum</i>	Rafinesque Viburnum
10	<i>Viburnum trilobum</i>	American Cranberrybush Viburnum
6	<i>Yucca filamentosa</i>	Adamsneedle Yucca

The following resources provide additional information:

1. <http://findnativeplants.com/mid-atlantic/pennsylvania-native-plants/>
This site lists the nurseries in Pennsylvania that sell native plants.
2. Hightshoe, Gary L. Native Trees, Shrubs, and Vines for Urban and Rural America 1988. John Wiley & Sons. New York.
3. Rhoads, Ann and Block, Timothy. The Plants of Pennsylvania. 2007. Univ. of Pennsylvania Press. Philadelphia.
4. Vincent Cotrone
Urban Forester
Penn State Cooperative Extension
16 Luzerne Avenue, Suite 200
West Pittston, PA 18643
(570) 825-1701
(570) 825-1709 fax
vjc1@psu.edu
<http://www.patrees.org/>

APPENDIX D

APPENDIX D
OPERATION AND MAINTENANCE (O&M) AGREEMENT
STORMWATER MANAGEMENT (SWM) FACILITIES

THIS AGREEMENT, made and entered into this _____ day of _____, 20____, by and between _____, (hereinafter the “Landowner”), and The Township of West Providence, Bedford County, Pennsylvania, (hereinafter “Township”);

WITNESSETH:

WHEREAS, the Landowner is the owner of certain real property as recorded by deed in the land records of Bedford County, Pennsylvania, Deed Book _____ Page _____ and/or Instrument Number _____ (hereinafter “Property”).

WHEREAS, the Landowner is proceeding to build and develop the Property; and

WHEREAS, the SWM Facilities Operation and Maintenance (O&M) Plan approved by the Municipality (hereinafter referred to as the “O&M Plan”) for the property identified herein, which is attached hereto as Appendix A and made part hereof, as approved by the Township, provides for management of stormwater within the confines of the Property through the use of Stormwater Management Best Management Practices (BMPs); and

WHEREAS, the Township, and the Landowner, his successors and assigns, agree that the health, safety, and welfare of the residents of the Township and the protection and maintenance of water quality require that on-site SWM Facilities be constructed and maintained on the Property; and

WHEREAS, the Township requires, through the implementation of the SWM Site Plan, that SWM Facilities as required by said SWM Site Plan and the Municipal Subdivision and Land Development Ordinance be constructed and adequately operated and maintained by the Landowner, successors, and assigns.

NOW, THEREFORE, in consideration of the foregoing promises, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

1. The Landowner shall construct the SWM Facilities in accordance with the plans and specifications identified in the SWM Site Plan.
2. The Landowner shall operate and maintain the SWM Facilities as shown on the SWM Plan in good working order in accordance with the specific operation and maintenance requirements noted on the approved O&M Plan.
3. The Landowner hereby grants permission to the Township, its authorized agents and employees, to enter upon the property, at reasonable times and upon presentation of proper credentials, to inspect the SWM Facilities whenever necessary. Whenever possible, the Township shall notify the Landowner prior to entering the property.
4. In the event the Landowner fails to operate and maintain the SWM Facilities per paragraph 2, the Township or its representatives may enter upon the Property and take whatever action is deemed necessary to maintain said SWM Facilities. It is expressly understood and agreed that the Township is under no obligation to maintain or repair said facilities, and in no event shall this Agreement be construed to impose any such obligation on the Township.
5. In the event the Township, pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Landowner shall reimburse the Township for all expenses (direct and indirect) incurred, within 10 days of receipt of invoice from the Township. Should the Landowner fail to pay said invoice, the Township may collect the same plus a penalty of 10% by summary proceedings or under law for the collection of municipal liens and attorney's fees and costs incurred in connection therewith.
6. The intent and purpose of this Agreement is to ensure the proper maintenance of the onsite SWM Facilities by the Landowner; provided, however, that this Agreement shall not be deemed to create or affect any additional liability of any party for damage alleged to result from or be caused by stormwater runoff.

7. The Landowner, its executors, administrators, assigns, and other successors in interests, shall release the Township from all damages, accidents, casualties, occurrences, or claims which might arise or be asserted against said employees and representatives from the construction, presence, existence, or maintenance of the BMP(s) by the Landowner or Township.

8. This Agreement shall be recorded at the Office of the Recorder of Deeds of Bedford County, Pennsylvania, and shall constitute a covenant running with the Property and/or equitable servitude, and shall be binding on the Landowner, his administrators, executors, assigns, heirs, and any other successors in interests, in perpetuity.

IN WITNESS WHEREOF, the parties hereto and/or their authorized representatives set forth their hands and seals as of the day and year above written.

ATTEST:

TOWNSHIP

Secretary

BY _____
Chairman

WITNESS

LANDOWNER

COMMONWEALTH OF PENNSYLVANIA :
 : SS
COUNTY OF BEDFORD :

On the _____ day of _____, 2021, before me, the undersigned officer, personally appeared Brandon Chamberlain, Chairman, West Providence Township, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument, and acknowledged that he executed the same for the purpose therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Notary Public

COMMONWEALTH OF PENNSYLVANIA :
 : SS
COUNTY OF _____ :

On the _____ day of _____, 2021, before me, the undersigned officer, personally appeared _____, known to me (or satisfactorily proven) to be the person(s) whose name(s) is (are) subscribed to the within instrument, and acknowledged that he/she/they executed the same for the purpose(s) therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Notary Public